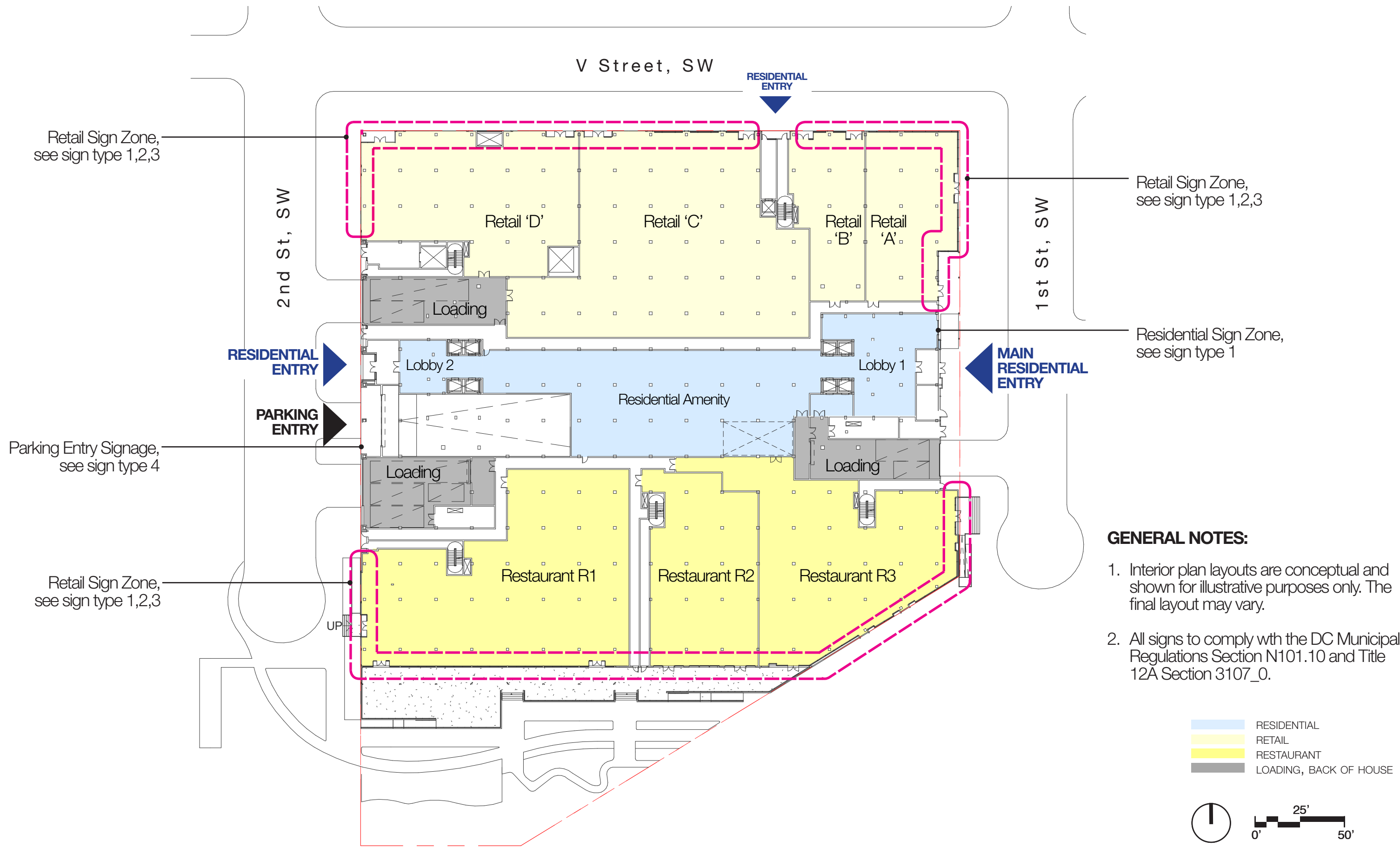


Appendix A

Signage

S1	Cover Sheet
S2	Signage Plan
S3	North Elevation - V Street
S4	West Elevation - 2nd Street
S5	South Elevation - Waterfront
S6	East Elevation - 1st Street
S7	Signage Guidelines - Typical Retail Signage
S8	Signage Guidelines - Signage Types
S9	Signage Guidelines - Retail Signage



- GENERAL NOTES:**
1. Interior plan layouts are conceptual and shown for illustrative purposes only. The final layout may vary.
 2. All signs to comply with the DC Municipal Regulations Section N101.10 and Title 12A Section 3107_0.

	RESIDENTIAL
	RETAIL
	RESTAURANT
	LOADING, BACK OF HOUSE



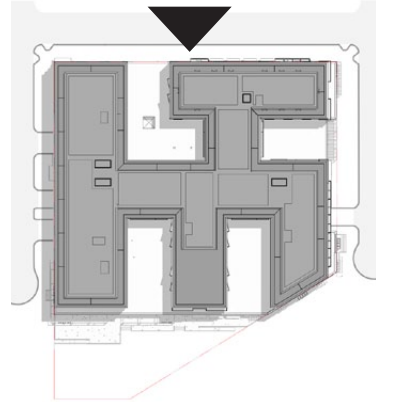
River Point - 2100 2nd St, SW

Square 613 / Lot 10

Concept Signage Location Plan

May 16, 2017





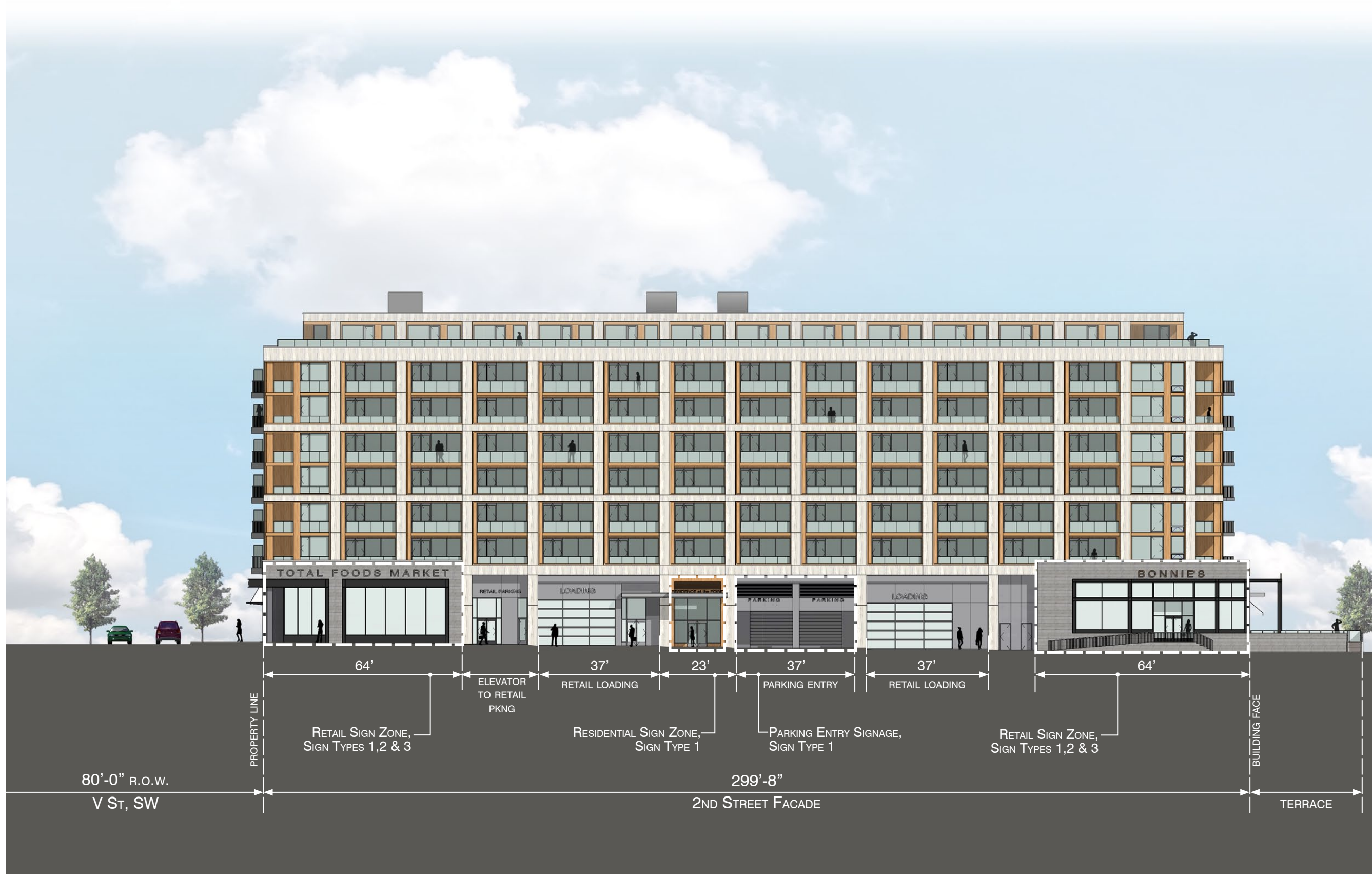
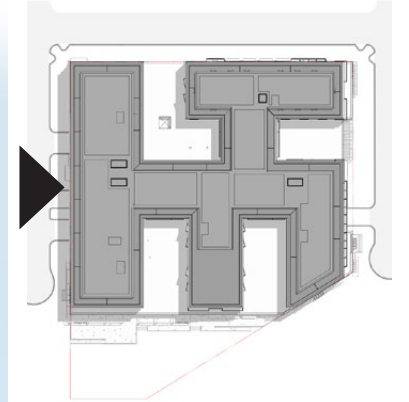
River Point - 2100 2nd St, SW

Square 613 / Lot 10

North Elevation - V St Facade

May 16, 2017





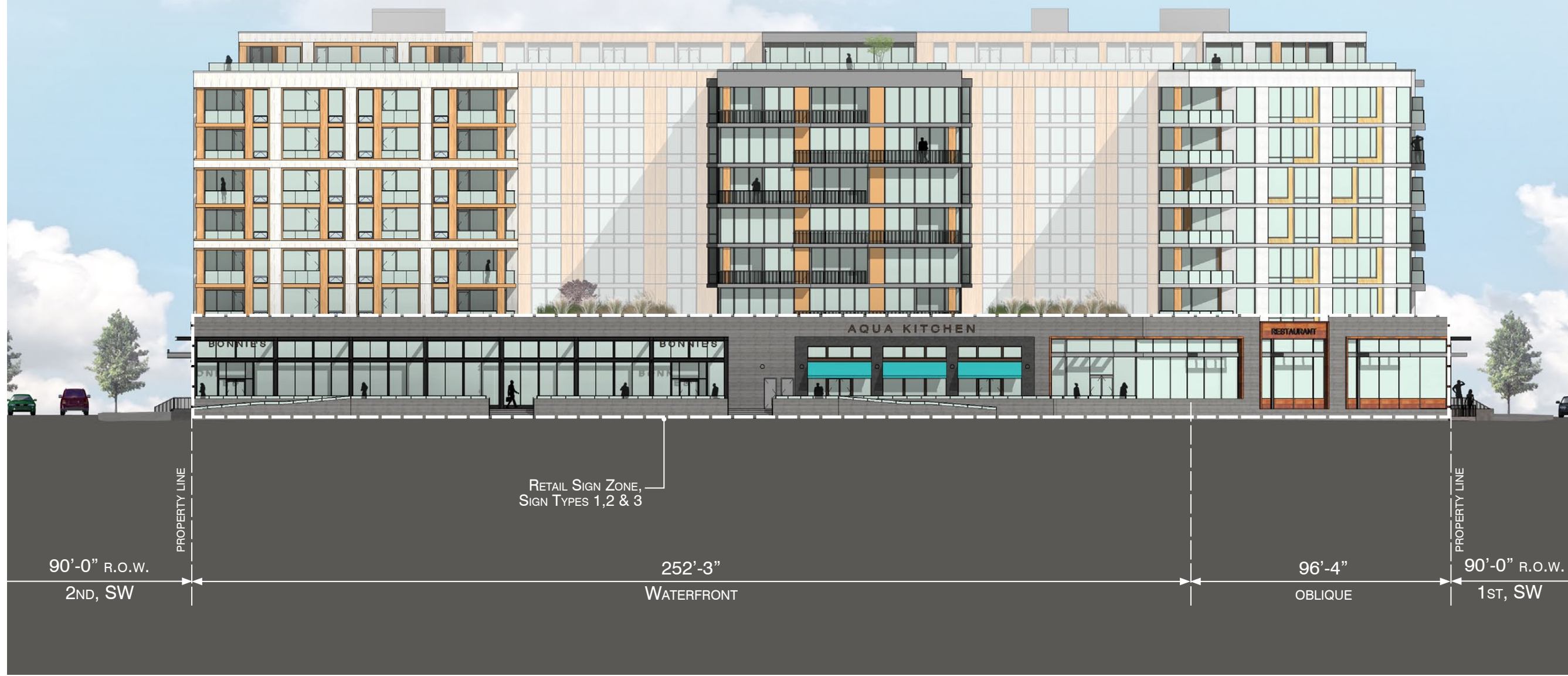
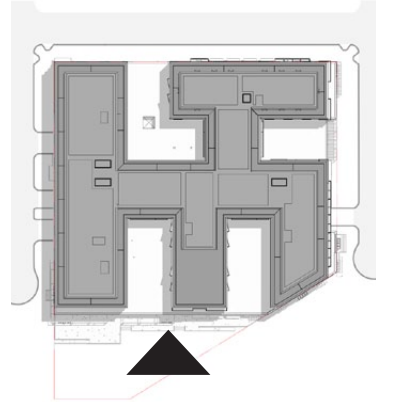
River Point - 2100 2nd St, SW

Square 613 / Lot 10

West Elevation - 2nd St Facade

May 16, 2017





River Point - 2100 2nd St, SW

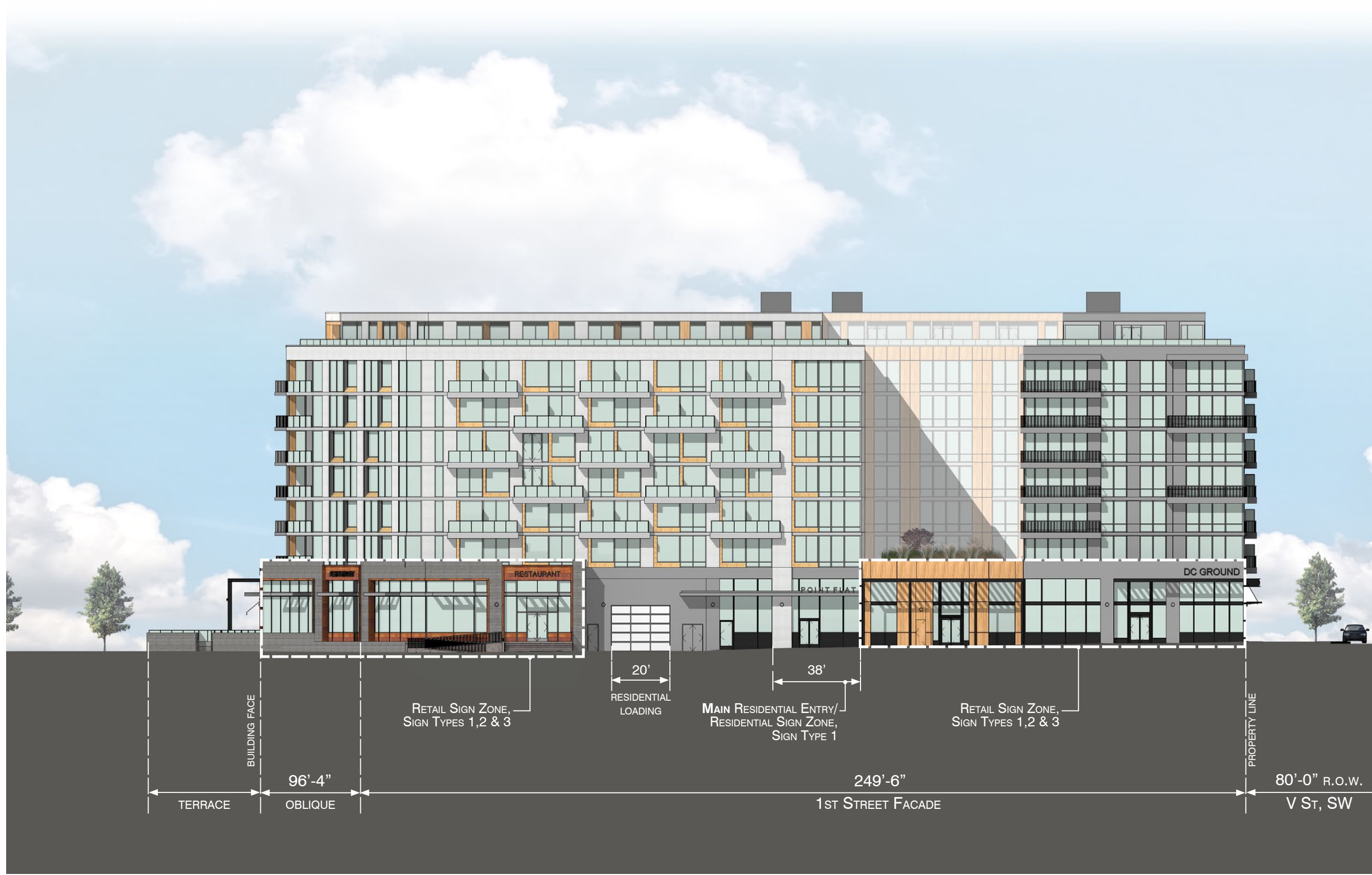
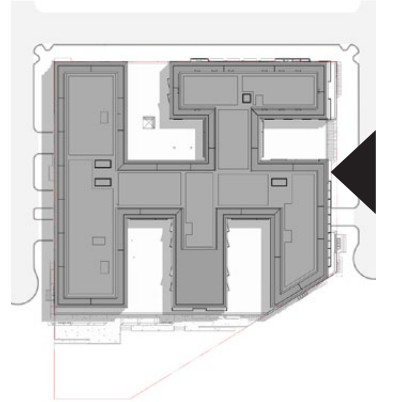
Square 613 / Lot 10

South Elevation - Waterfront

May 16, 2017



S5



River Point - 2100 2nd St, SW

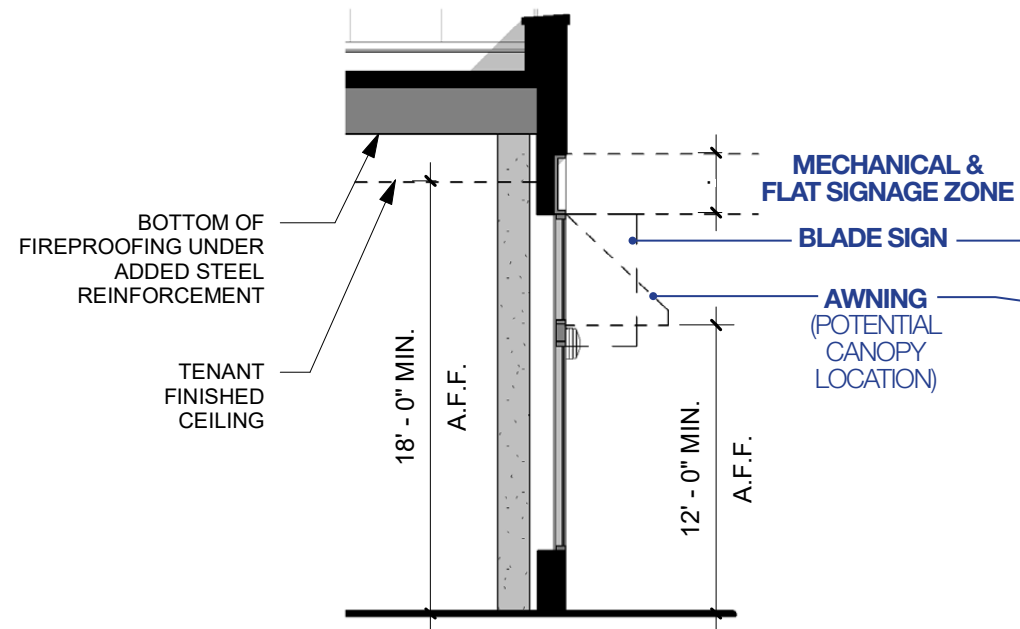
Square 613 / Lot 10

East Elevation - 1st St Facade

May 16, 2017



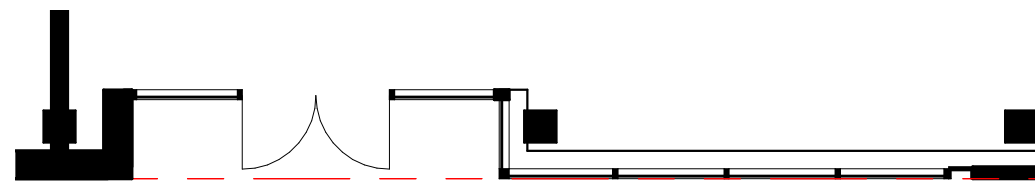
S6



TYPICAL SECTION



TYPICAL ELEVATION



TYPICAL PLAN

SIGNAGE DESIGN CRITERIA:

1. LANDLORD WILL PROVIDE ALL STOREFRONT SYSTEMS, INCLUDING GLASS, DOORS, AND EXTERIOR FACADE FINISHES.
2. MAXIMUM NUMBER OF PRIMARY SIGNS PER TENANT SPACE IS ONE, EXCEPT FOR CORNER TENANTS WHICH MAY INCORPORATE ONE PRIMARY SIGN ON EACH FACADE UP TO A MAXIMUM OF TWO TOTAL. ADDITIONALLY, THE PRIMARY SIGNAGE SHALL BE A FASCIA TYPE SIGN WITH A MAX CAP HEIGHT OF 1'-8".
3. ALL PRIMARY SIGNAGE TO BE LOCATED WITHIN THE DASHED AREAS SHOWN ON THE TYPICAL RETAIL STOREFRONT ELEVATION.
4. SECONDARY BLADE SIGNS ARE PERMITTED. EACH TENANT IS ALLOWED ONE BLADE SIGN PER BUILDING FACADE.
5. ACCEPTABLE OPTIONAL SIGNAGE INCLUDES WALL MOUNTED PLAQUES, WINDOW GRAPHICS, AWNING SIGNS, AND OPERATIONAL SIGNS.
6. NO SIGNAGE EXCEPT BLADE SIGNS IS PERMITTED TO BE ATTACHED TO THE PRECAST FACADE PANELS OR OUTSIDE OF THE STOREFRONT FACADE SYSTEM.
7. BLADE SIGN SHALL BE ATTACHED TO AND CENTERED ON VERTICAL PRECAST PIERS WITHIN THE INDICATED HEIGHT LIMITS.

S1 SIGN TYPE - 1
MAIN BUILDING SIGN/ ARCHITECTURAL CANOPY



S3 SIGN TYPE - 3
SECONDARY RETAIL: BLADE, WINDOW, AWNING, PLAQUE



S2 SIGN TYPE - 2
PRIMARY RETAIL FLAT SIGNS



S4 SIGN TYPE - 4
PARKING BLADE SIGN



River Point - 2100 2nd St, SW

Square 613 / Lot 10

DCMR 12A - APPENDIX N § N101.10
SIGNS

N101.10 Maximum size of signs. In any district other than Residential or Special Purpose Districts, the total area of sign or signs subject to the provisions of Section N101 and attached to, displayed from, or erected upon any building, lot, or parcel of land, shall not exceed the limits prescribed in Sections N101.10.1 through N101.10.7.

N101.10.1 One story buildings. Two square feet (0.19 m²) for each foot of width of front of building occupied by the business or profession to be advertised, such signs or signs to be placed on the front under consideration within the limits of the portion of the front in which the business advertised is located. Roof signs shall not exceed 100 square feet (9.29 m²) facing any one street frontage.

N101.10.2 First floor stores or businesses in multi-story buildings. The provisions of Section N101.10.1 shall apply, except that such signs shall be kept within a height of 20 feet (6096 mm) above the sidewalk.

N101.10.3 Upper stories of multi-story buildings. The total area of all signs above the 20-foot height specified in Section N101.10.2 shall not exceed the limits set forth in Table N101.10.3, for each street frontage.

TABLE N101.10.3
SIGNS ABOVE THE FIRST STORY

AREA OF WALL ABOVE 20 FEET ABOVE THE SIDWALK, ON STREET FRONTAGE (square feet)^a	MAXIMUM ALLOWABLE AREA OF SIGNS ABOVE 20 FEET ABOVE SIDWALK ON STREET FRONTAGE
Up to 1600	40 ft ²
1600 to 4000	1/40 of area of wall above 20 ft height
Over 4000	100 ft ² roof signs, or 1/40 of area of wall above 20 ft height for signs below roof

GENERAL NOTE:

All signs to comply with DC Municipal Regulations Section N101.10 and Title 12A Section 3107_0.

PROHIBITED SIGNS

1. Illuminated sign boxes
2. Signs with tag lines, slogans, phone numbers, service descriptions, or advertising
3. Signs made with plastic, plexiglas, lexan, or acrylic, translucent or opaque
4. Back plates behind signage are prohibited
5. Monument style signage
6. Temporary Signage
7. Internally illuminated canopies
8. Signs with exposed raceway, conduit, junction boxes, transformers, visible lamps, tubing, or neon crossovers of any type
9. Rotating, animated, or flashing signs
10. Pole signs and other signs with exposed structural support not intended as a design element except for code-required signs.
11. Pennants, banners, or flags identifying individual tenants
12. Signs attached, painted, or otherwise affixed to awnings, tents, or umbrellas, however, such signs may be permitted in conjunction with special design review by the landlord.
13. Balloons and inflatable signs
14. Any signs including freestanding signs advertising the availability of employment opportunities
15. Signs which emit sound, odor, or visible matter or which bear or contain statements, words or pictures of an obscene, pornographic, or immoral character.
16. Fluorescent or reflective sign colors
17. Roof top signs

Appendix B

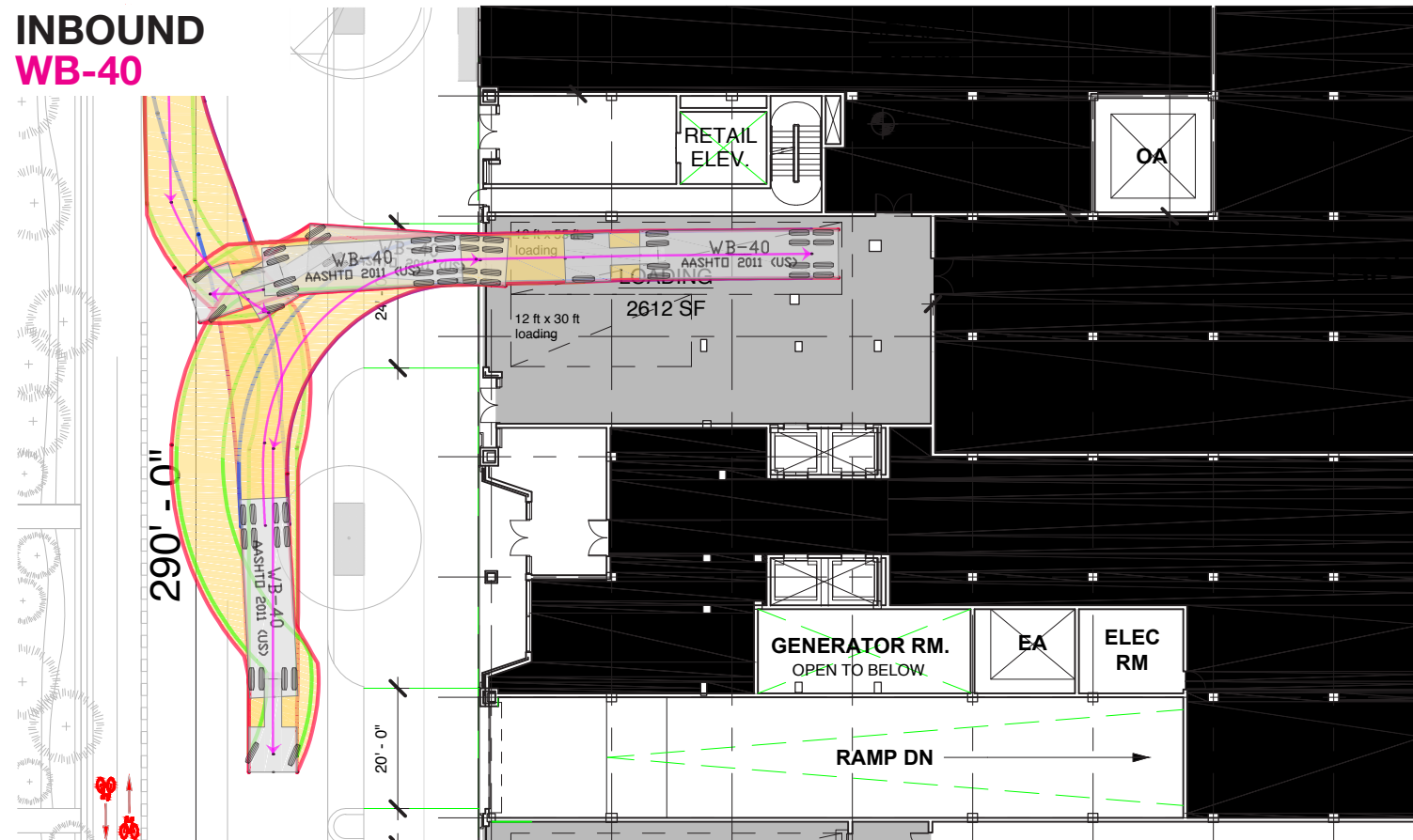
Vehicle Maneuvering Diagrams

- T1 Cover Sheet
- T2 Neighborhood Retail Loading - WB-40
- T3 Neighborhood Retail Loading - WB-50
- T4 Neighborhood Retail Loading - SU-30
- T5 Restaurant Loading - WB-40
- T6 Restaurant Loading - SU-30
- T7 Residential Loading - SU-30
- T8 Residential Loading - DL-23

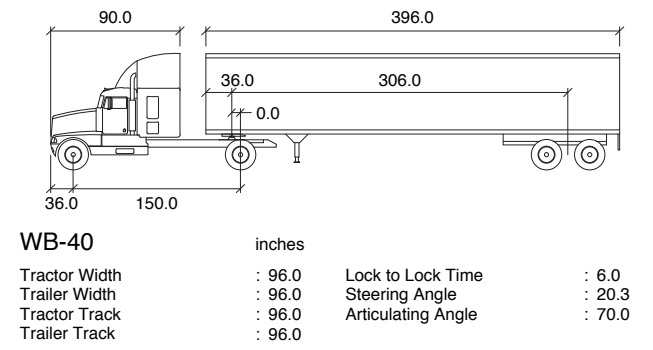
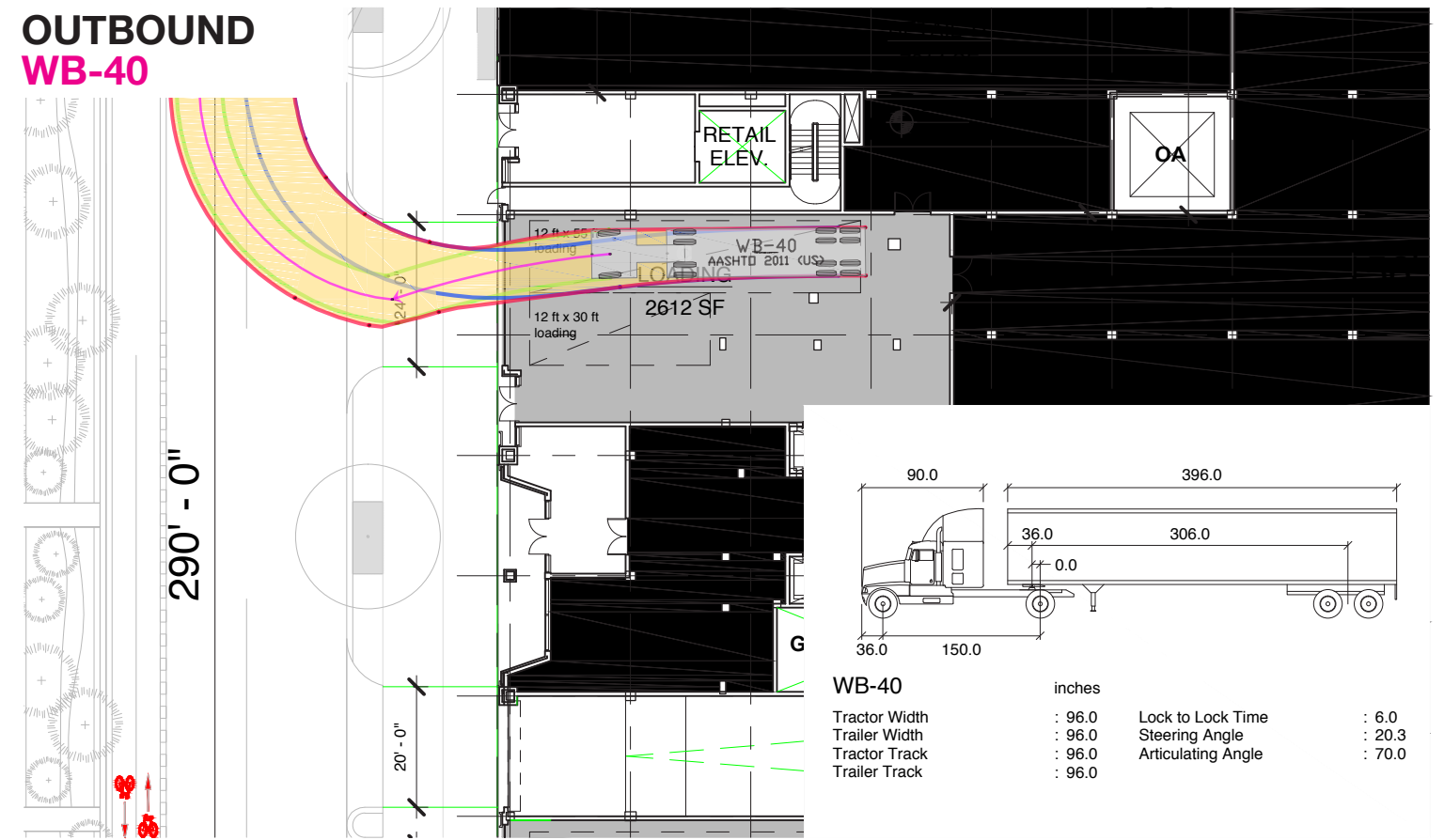
Maneuvering Diagrams

Neighborhood Retail Loading - WB-40

INBOUND WB-40



OUTBOUND WB-40

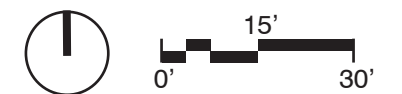


River Point - 2100 2nd St, SW

Square 613 / Lot 10

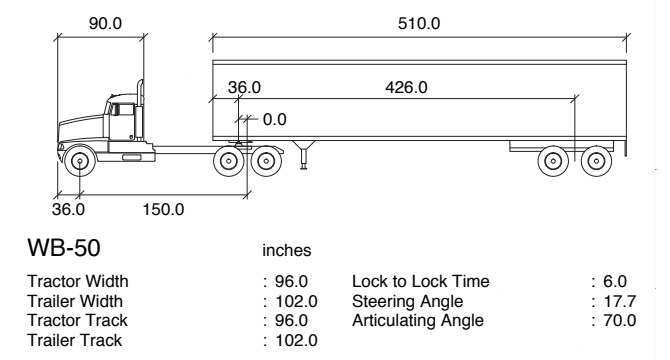
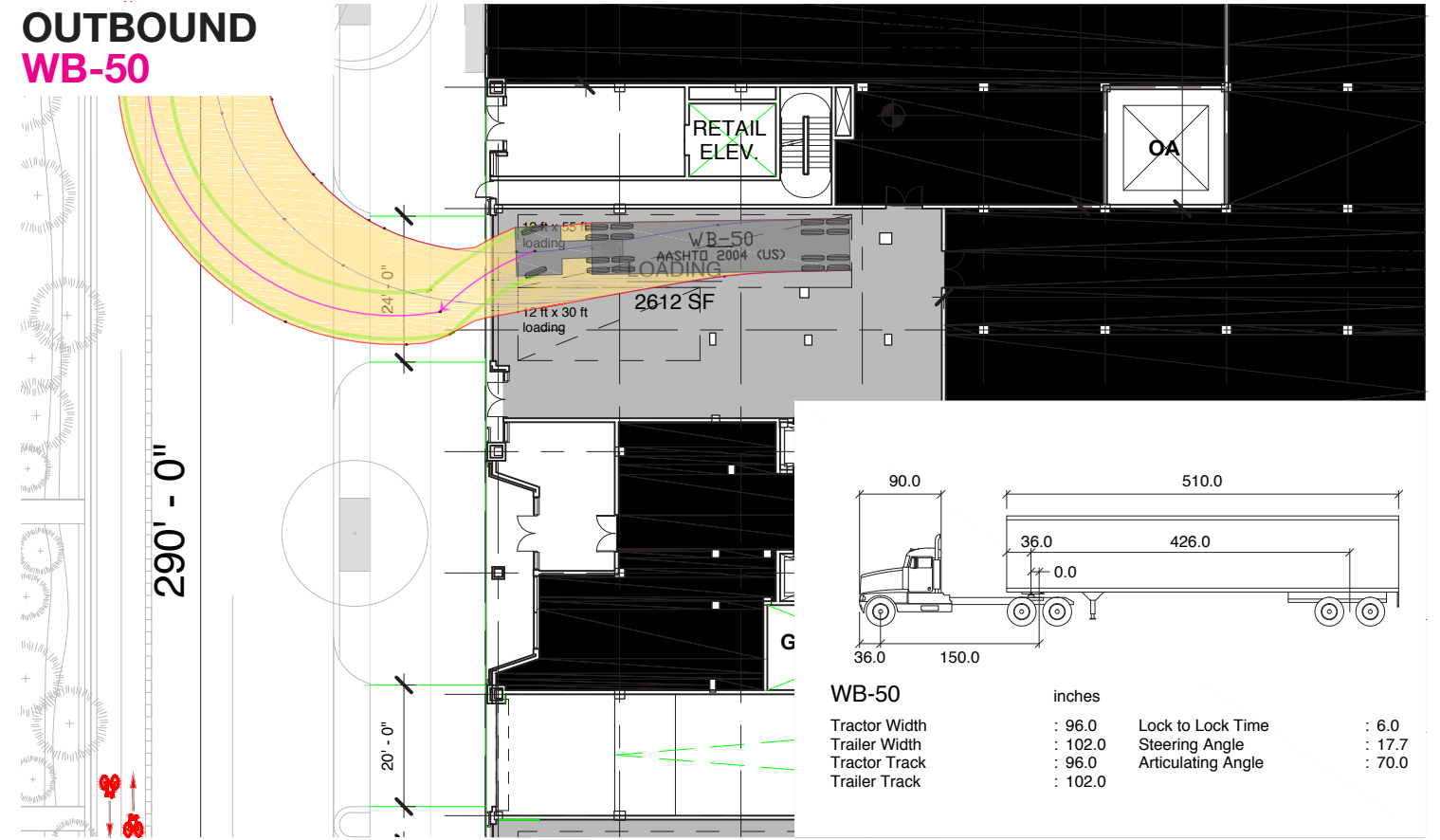
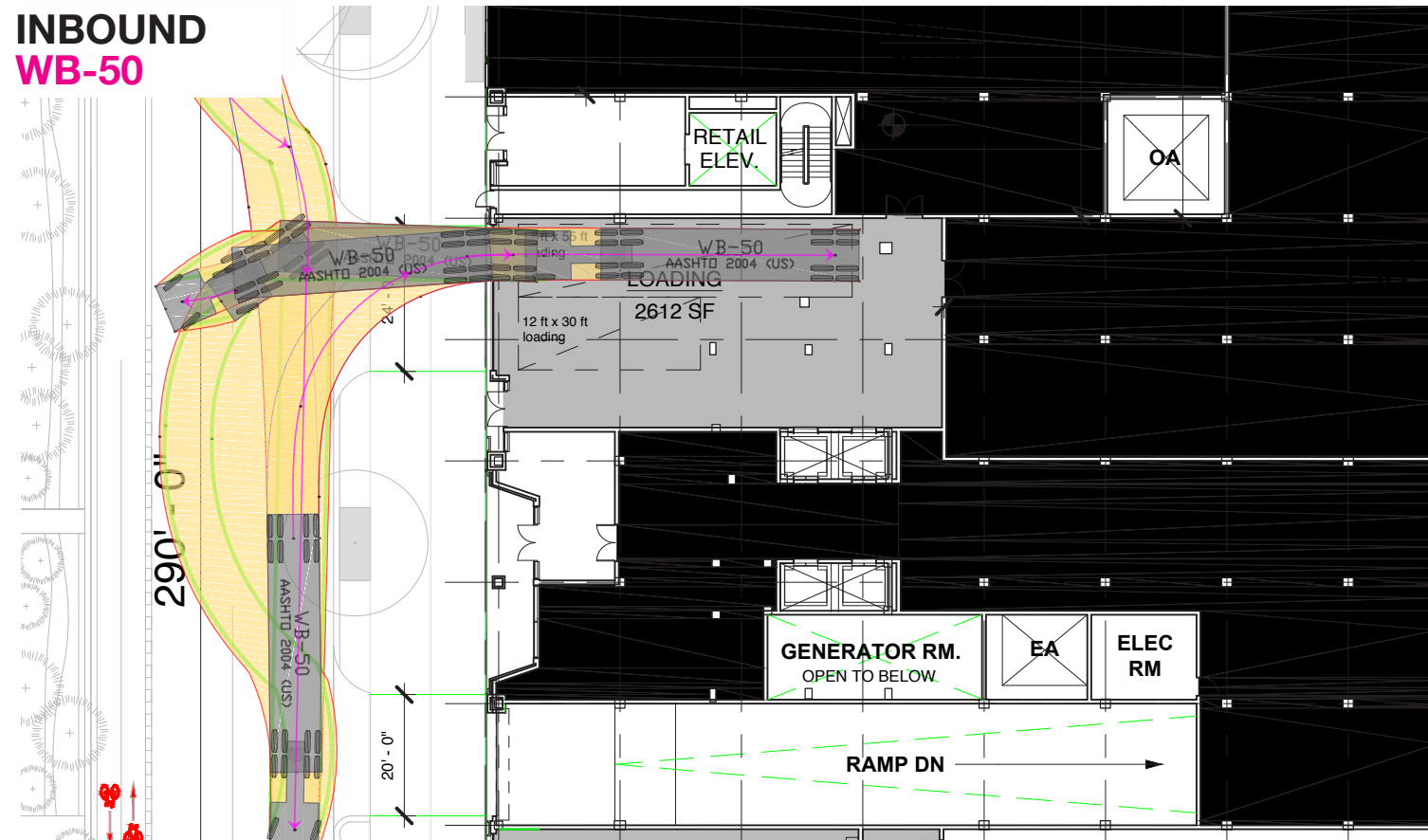
Vehicle Maneuvering Diagrams

May 16, 2017



T2

Maneuvering Diagrams Neighborhood Retail Loading - WB-50



River Point - 2100 2nd St, SW

Square 613 / Lot 10

Vehicle Maneuvering Diagrams

May 16, 2017

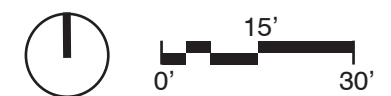
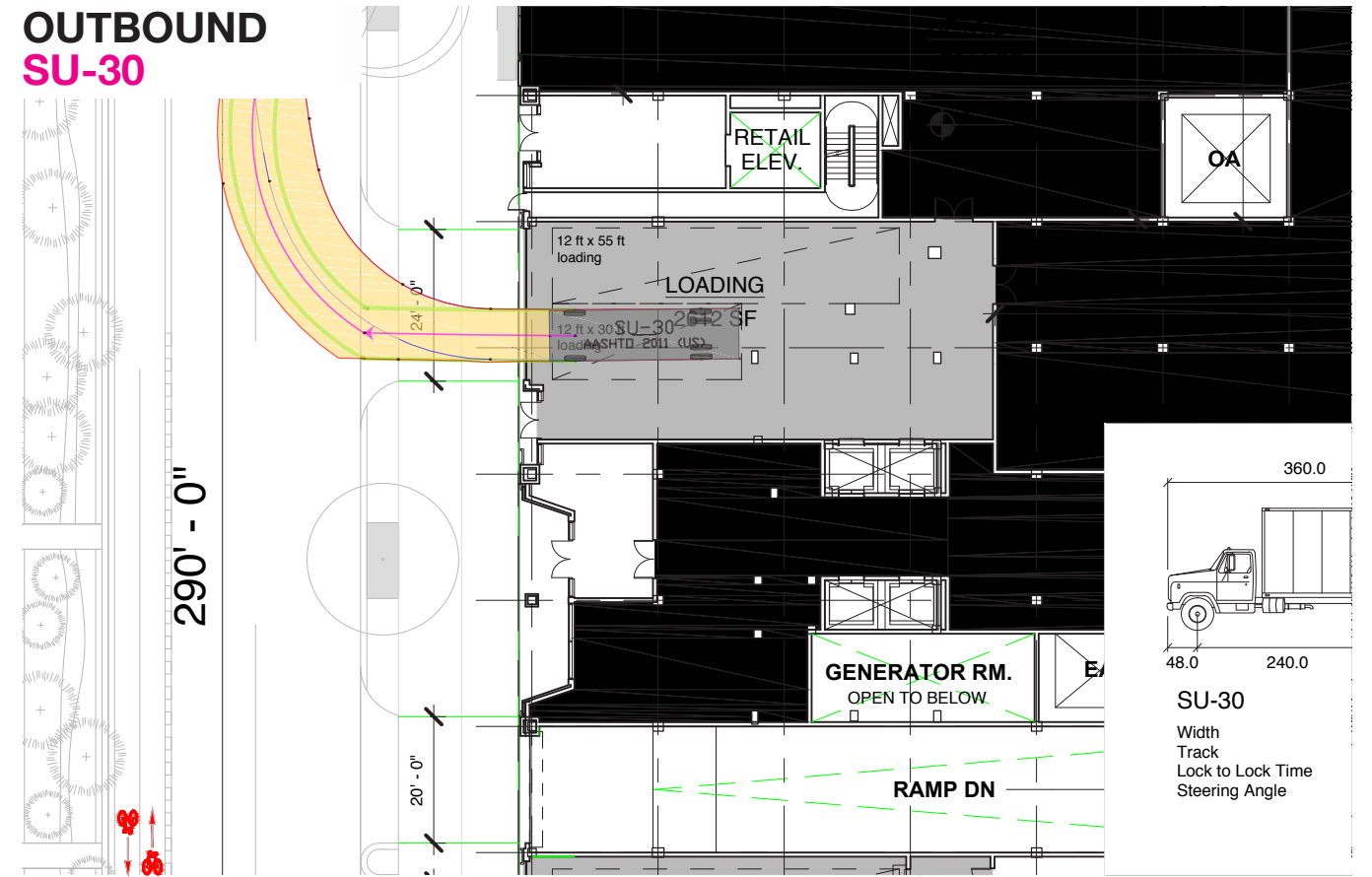
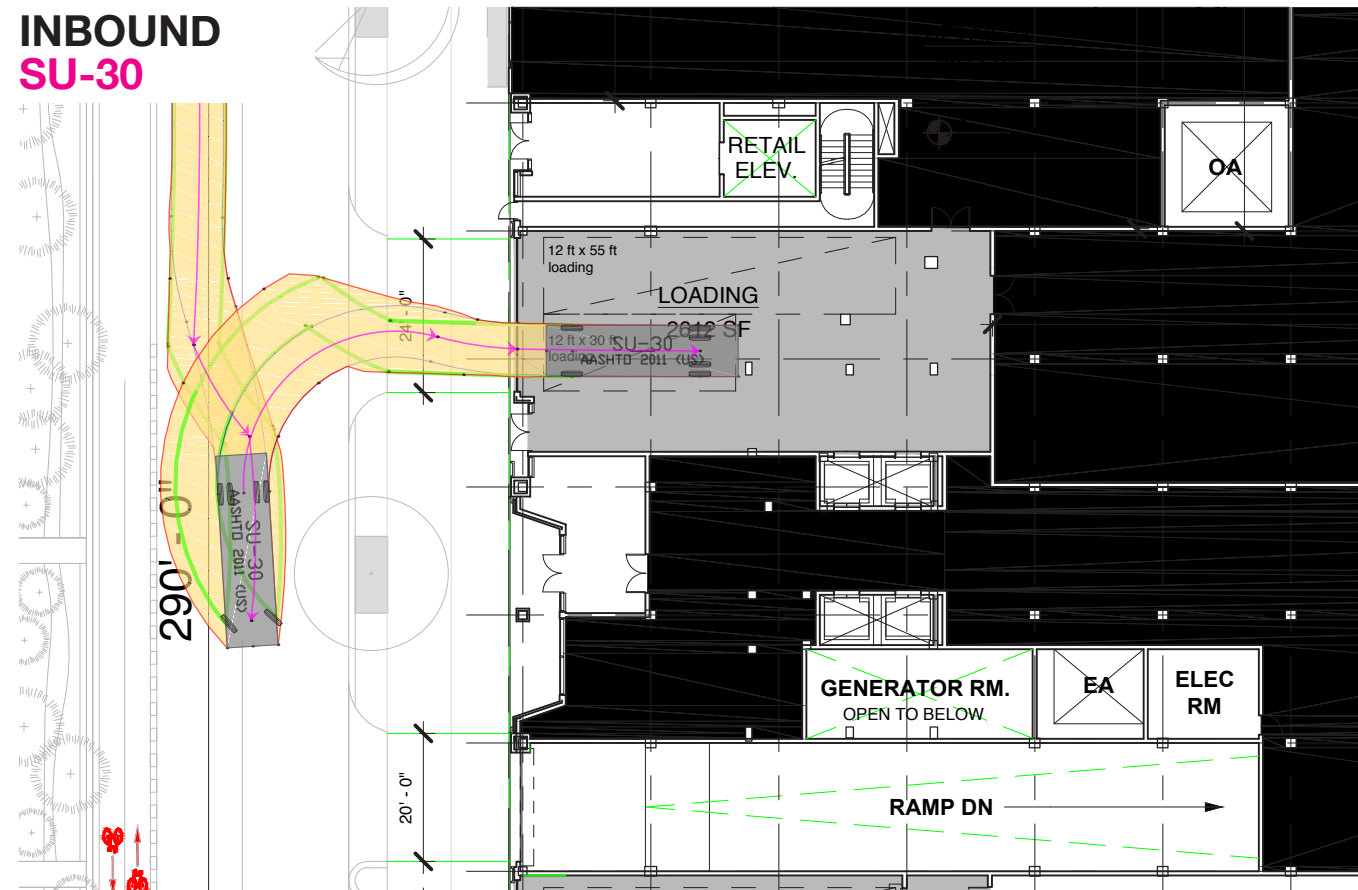


T3

Maneuvering Diagrams

Neighborhood Retail

Loading - SU-30

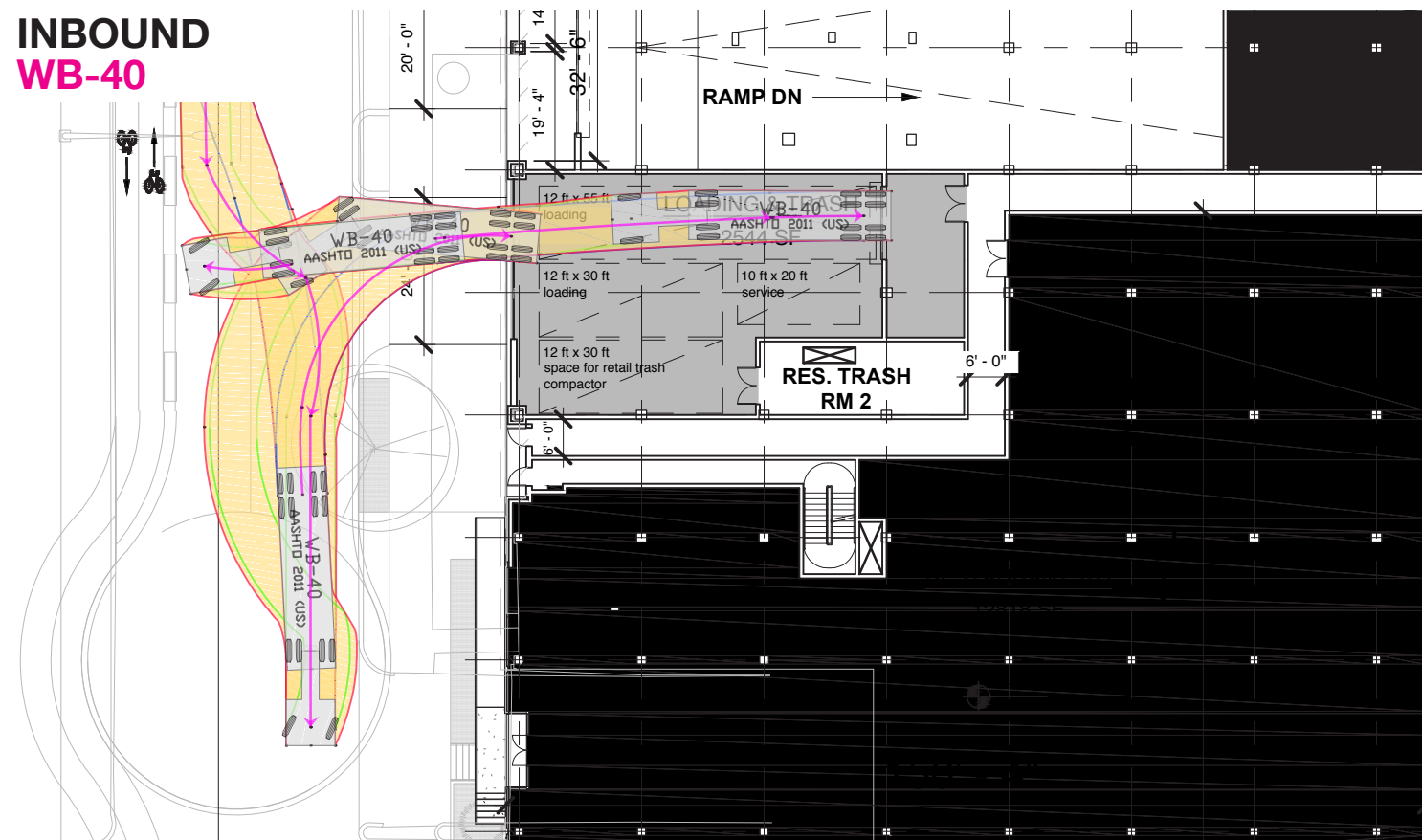


Maneuvering Diagrams

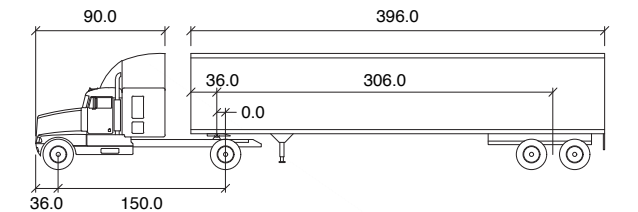
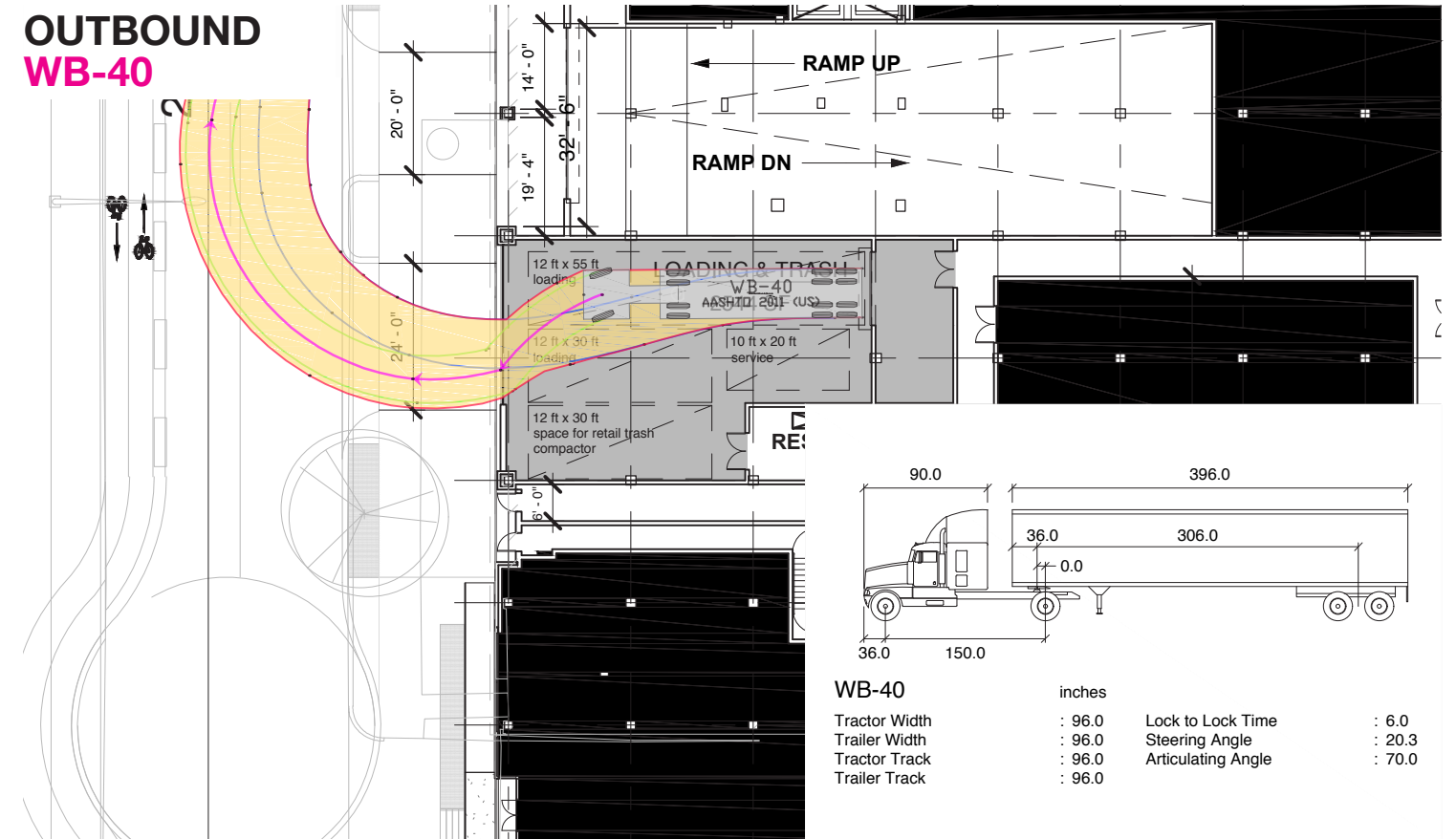
Restaurant Loading

WB-40

INBOUND WB-40



OUTBOUND WB-40



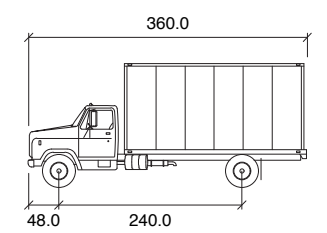
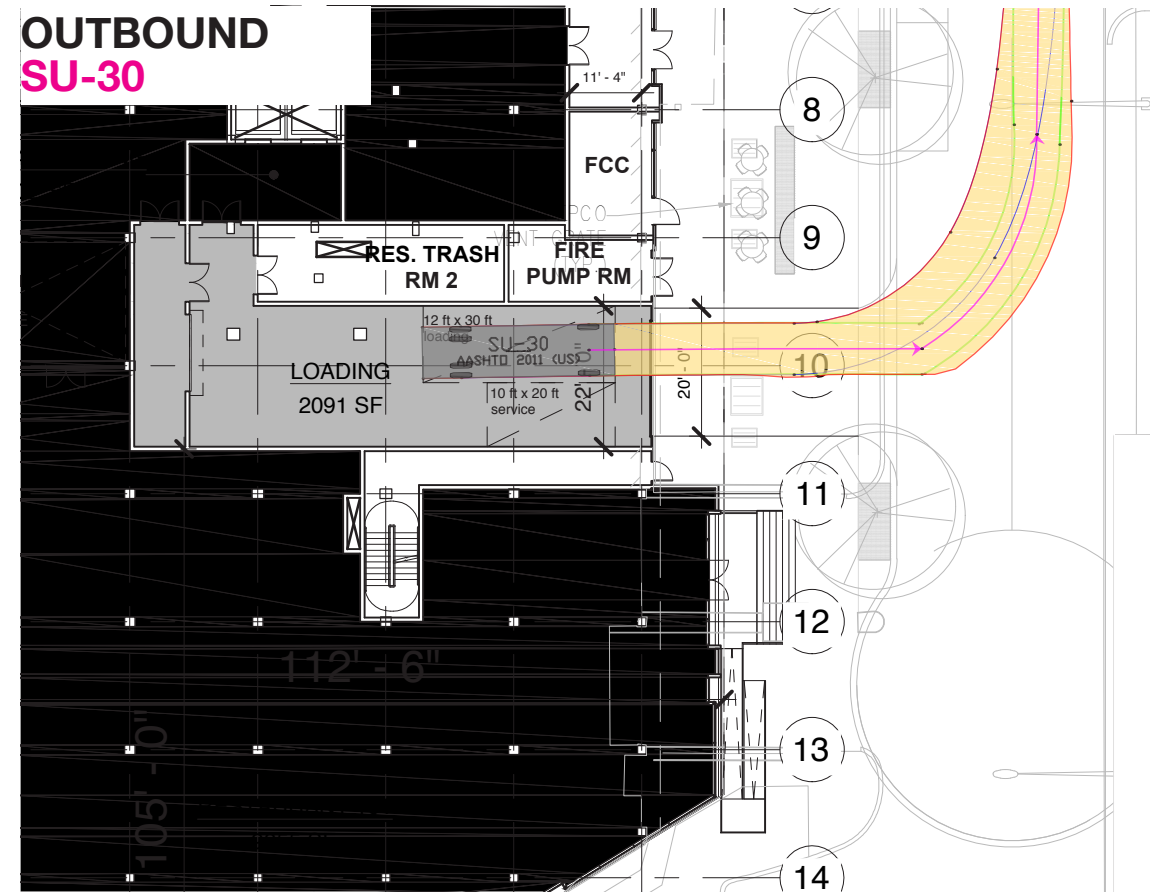
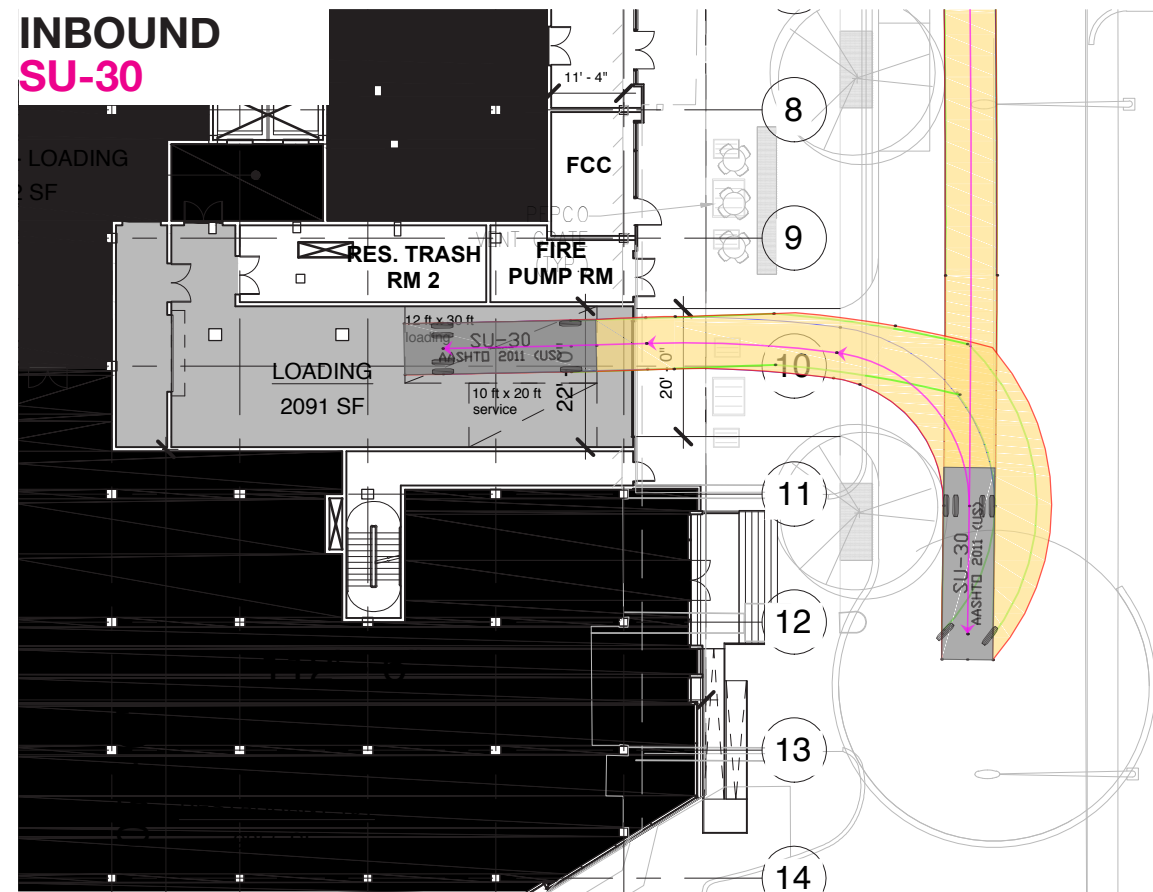
WB-40		inches	
Tractor Width	: 96.0	Lock to Lock Time	: 6.0
Trailer Width	: 96.0	Steering Angle	: 20.3
Tractor Track	: 96.0	Articulating Angle	: 70.0
Trailer Track	: 96.0		



Maneuvering Diagrams

Residential Loading

SU-30



SU-30		inches
Width	:	96.0
Track	:	96.0
Lock to Lock Time	:	6.0
Steering Angle	:	31.8

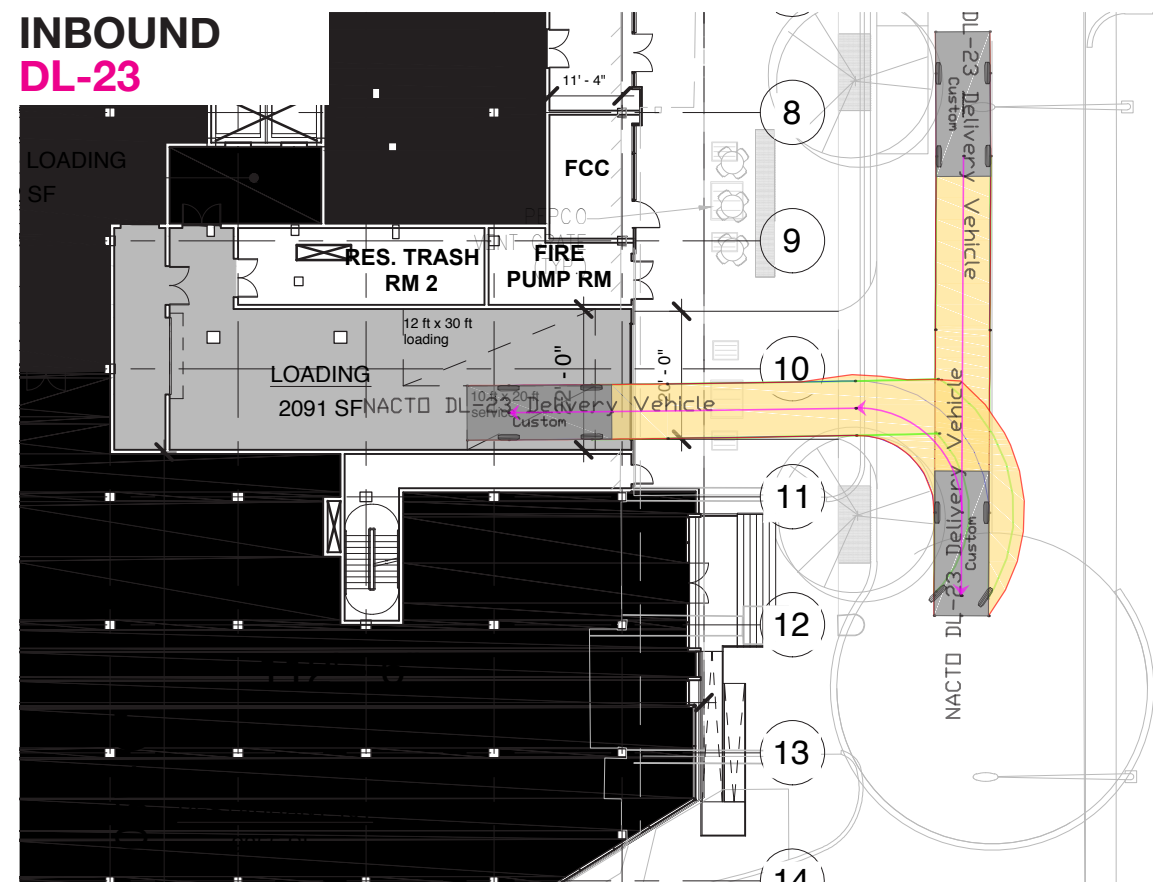


Maneuvering Diagrams

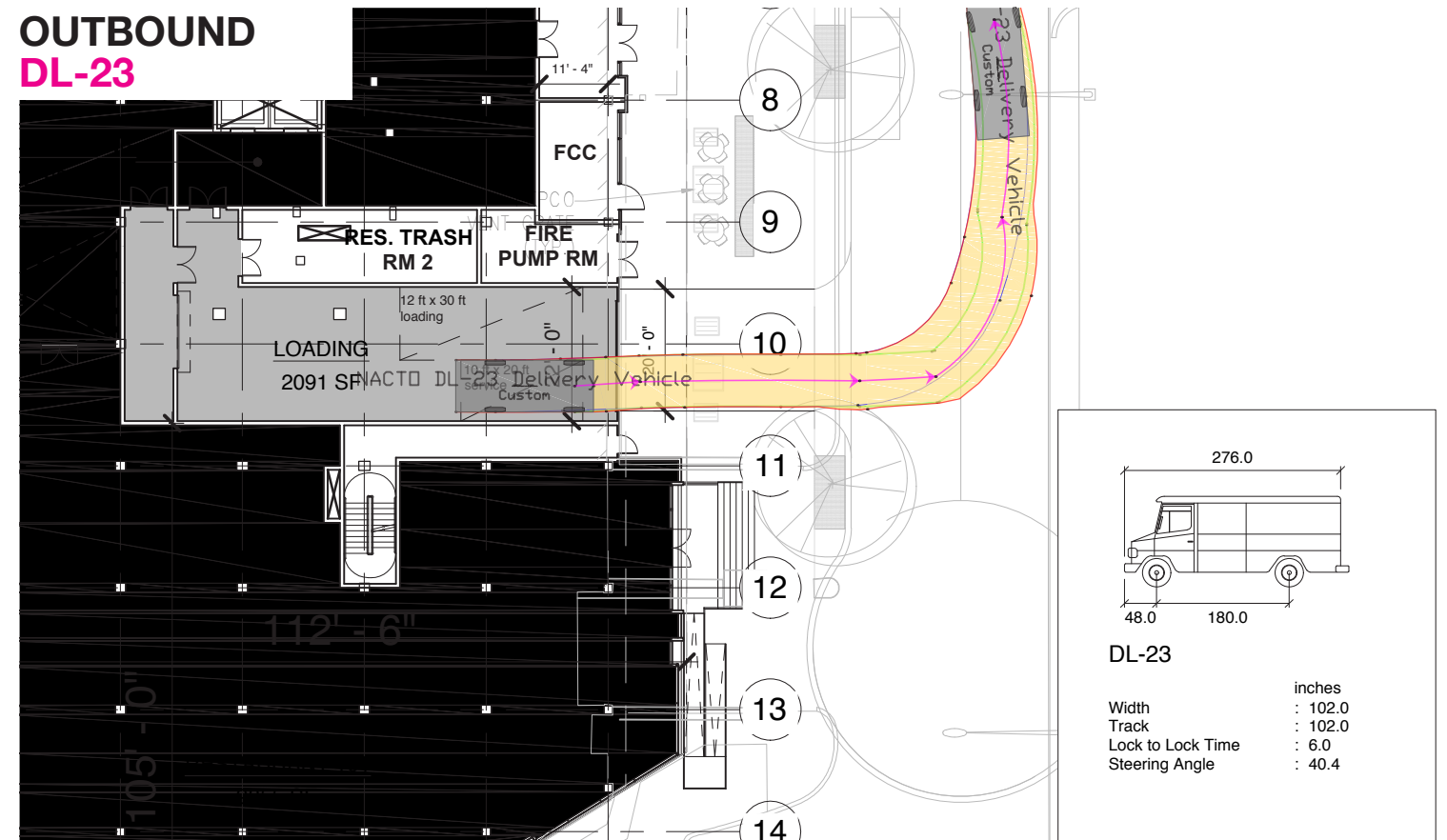
Residential Loading

DL-23

INBOUND DL-23



OUTBOUND DL-23



Appendix C

Flood Protection

F1	Cover Sheet
F2	FIRM Map & Design Flood Elevation
F3	Floodproofing Strategy & Topo Map
F4	Manual Flood Shields - Precedents
F5	Manual Flood Shields - Precedents
F6	Manual Flood Shields - Precedents
F7	Manual Flood Shields - Precedents
F8	Typical Condition - without flood shields
F9	Typical Condition - with flood shields
F10	Flood Protection - Egress Plan

Flood Zone: AE (SFHA)

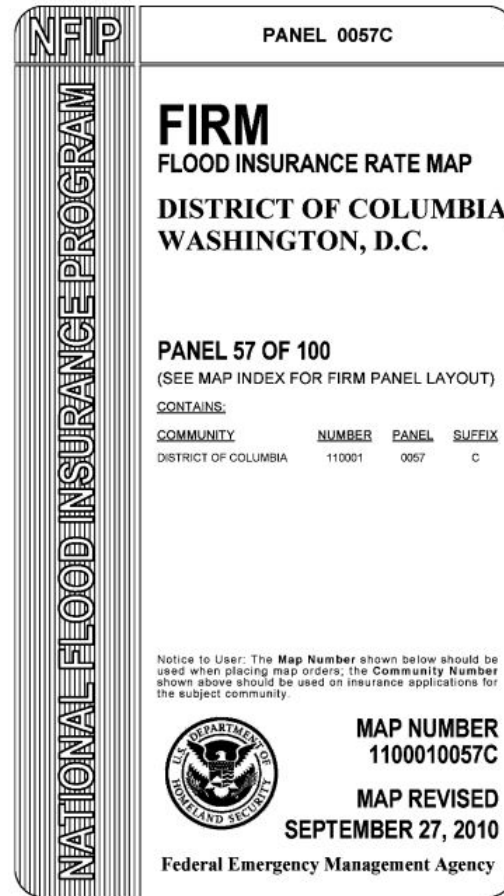
BFE = Base Flood Elevation
100-yr flood = 10.6' NAVD88

DFE = Design Flood Elevation
100-yr flood + **1.5'** = 10.6' + 1.5' = 12.1' NAVD88
(DCMR 20, Chapter 31, Section 3105.3)

DFE = Design Flood Elevation (**Proposed Enhanced**)
100-yr flood + **2'** = 10.6' + 2' = 12.6' NAVD88
12.6' NAVD88 + 0.1' = **12.7' DC Datum**

Existing Ground Floor = 9.95' DC Datum (33" below proposed DFE)

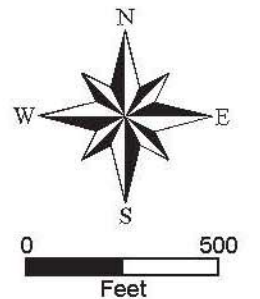
Conversion from NAVD88 to DC Datum:
NAVD88 = North American Vertical Datum of 1988
DC Datum = NAVD88 + 0.1'



FEMA Flood Insurance Rate Map (FIRM)
Buzzard Point
Original Scale: 1" = 500'

- Letters of Map Revision (LOMR)
- FIRM Panel Boundary
- FIRM Panel Not Printed

For FIRM Panel legend, search by panel number using FEMA's Flood Map Service Center:
<https://msc.fema.gov/portal/advanceSearch>



River Point - 2100 2nd St, SW

Square 613 / Lot 10

FIRM Map & Design Flood Elevation

May 16, 2017

FLOOD PROTECTION STRATEGY:

1. Code Modification

to change from FEMA's definition of Residential Use to Mixed Use to allow for existing below grade parking levels which are located below the base flood elevation.

Modification will follow requirements per DCRA Administrative Bulletin CC2016-02, Special Flood Hazard Areas; Garages below the base flood elevation in buildings or structures with residential occupancies; Permits; and Code Modification Applications.

2. Flood protection will be provided by means of the following and per regulations in Flood Hazard Rules, DCMR 20, Chapter 31; ASCE 24 and FEMA Technical Bulletins:

A. Dry floodproofing method to be accomplished through the use of flood-damage resistant materials up to Design Flood Elevation of 12.7' and use of removable flood shields (active barriers) to be deployed in preparation for a flood event (per Dry Floodproofing Requirements of Chapter 6, ASCE 24). Sump pumps shall be provided to handle inevitable seepage. See sheets F8 & F9 for a typical exhibit of a manual flood shield for this project.

B. **Flood Emergency Operation Plan** will be provided.
It will include:

- Established chain of command & responsibility defined
- Procedure for notification of necessary parties
- Flood warning time shall be a minimum of 12 hours
- List of specific duties assigned
- Storage location of materials needed to install flood shields
- Method of installation
- Evacuation plan for all personnel
- Identified ingress and egress routes
- Annual training and exercise program for personnel coordinated with community officials
- Plan shall be posted permanently in two conspicuous locations with the structure.

NOTE: plan to be consulted with DOEE and DC HSEMA to ensure that it does not conflict with other emergency plans prepared for the area

C. **Inspection and Maintenance Plan** will be provided.
It will include maintenance and inspection of the following:

- Mechanical equipment (sump pumps, generators)
- Flood shields equipment
- Walls and wall penetrations
- Berms that might have excessive vegetative growth

3. FEMA Floodproofing Certificate (FEMA Form 81-65)

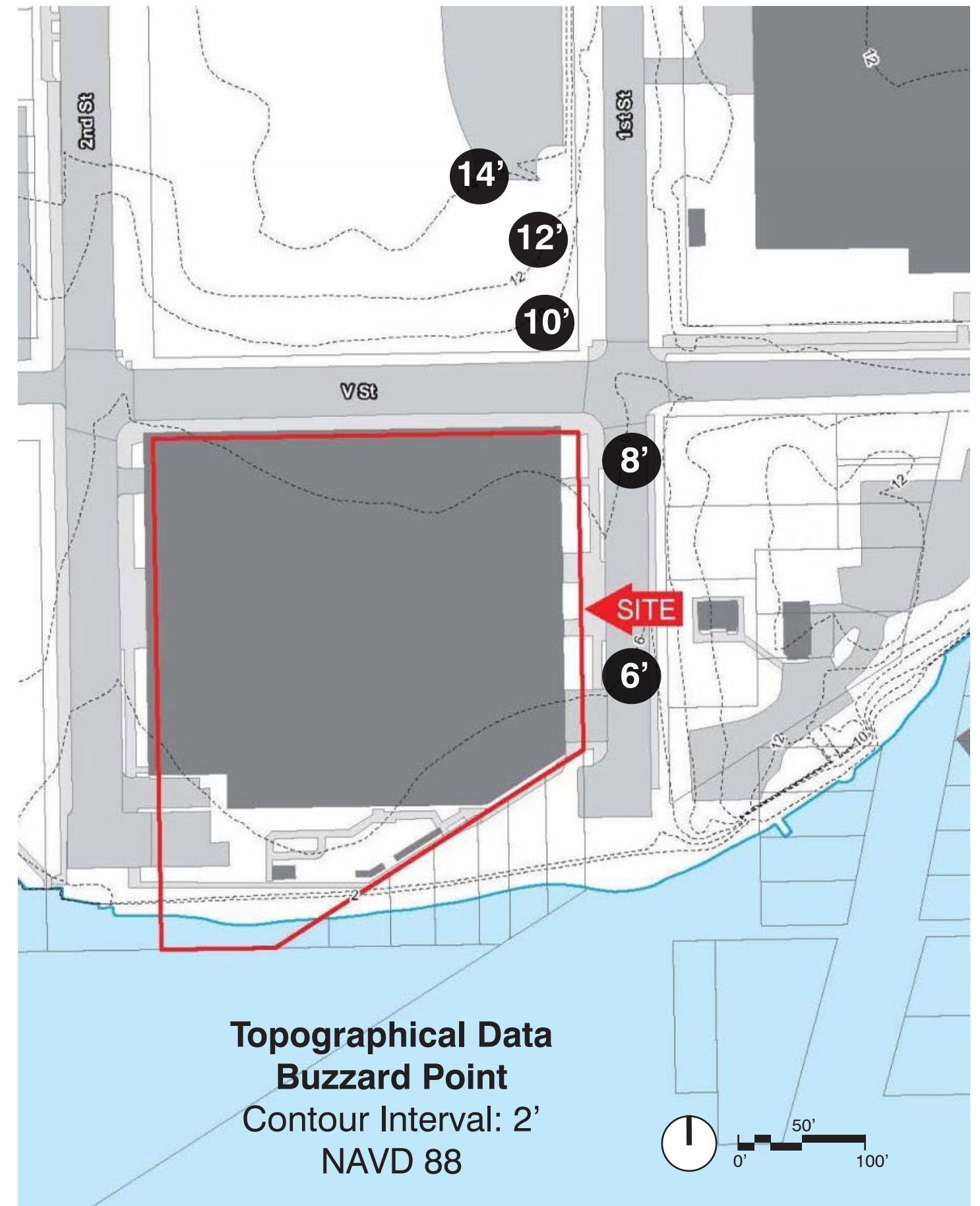
(to be submitted to DOEE at various stages of design, permitting and construction)

4. FEMA Elevation Certificate (FEMA Form 81-31)

(to be submitted to DOEE at various stages of design, permitting and construction)

River Point - 2100 2nd St, SW

Square 613 / Lot 10

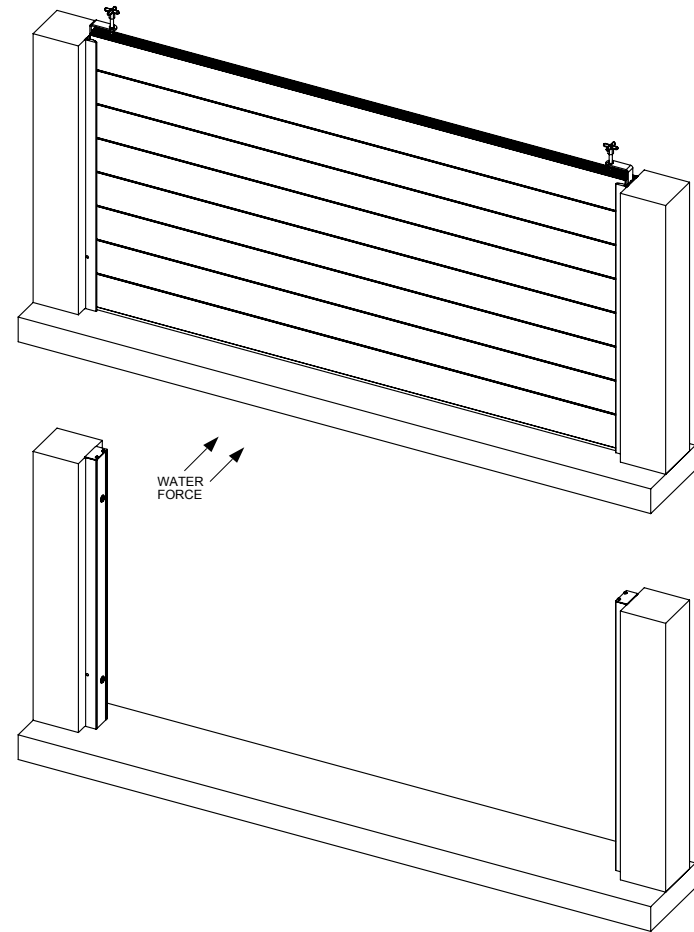


Flood Protection Strategy & Topo Map

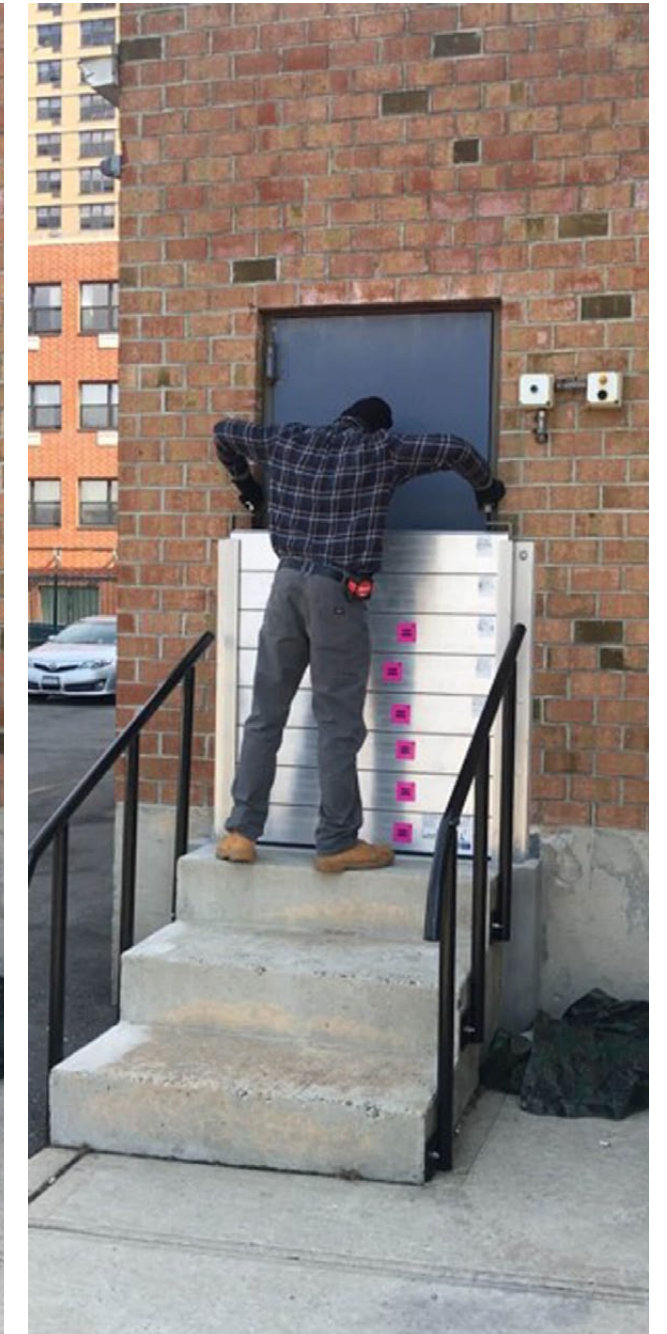
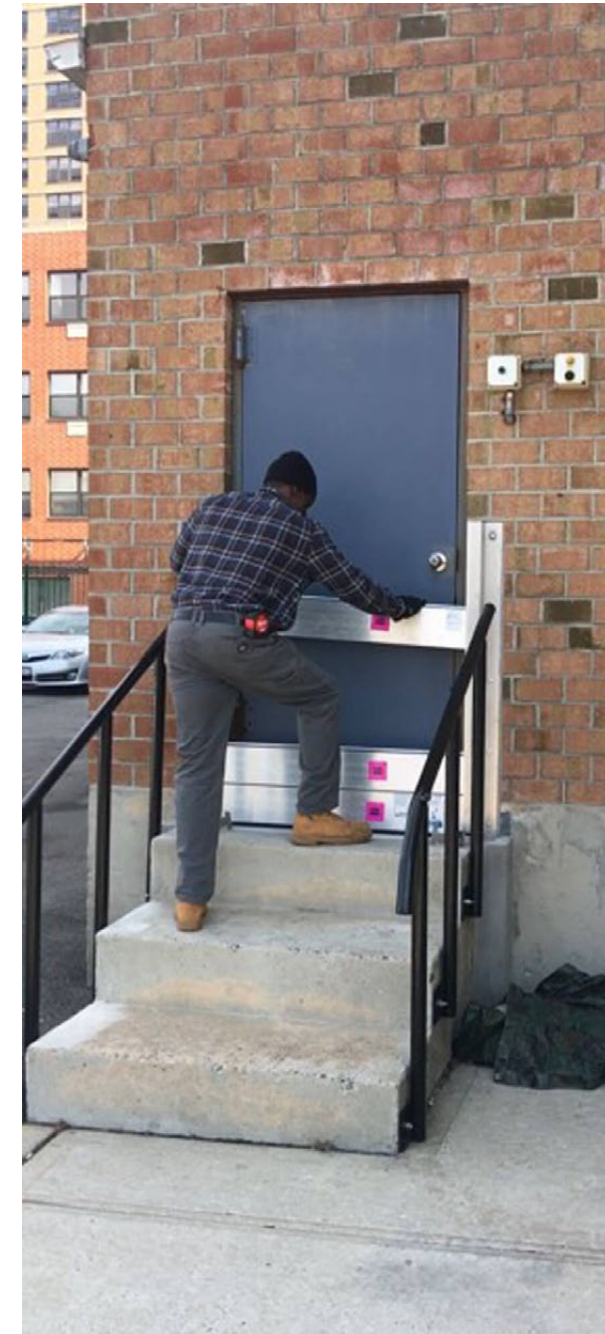
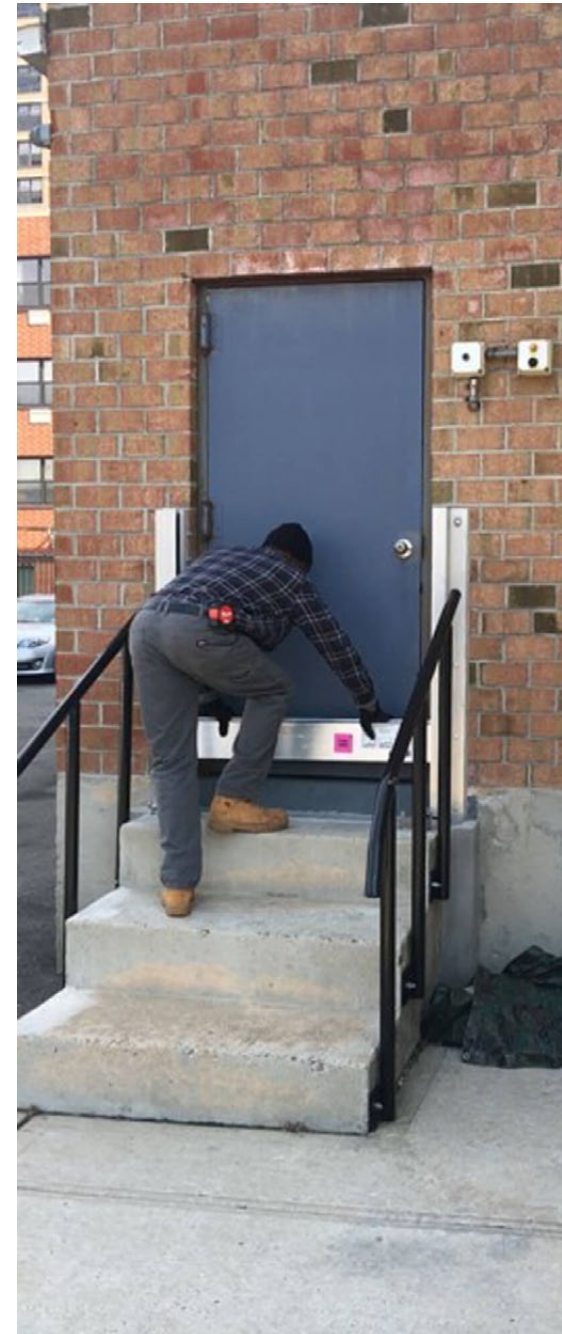
May 16, 2017



Active Flood Shields Precedent Images (manual - planks)



- Stackable
- Install Quickly
- Aluminum Construction
- Custom designed to fit opening size
- Light weight
- Compression sealed with latch system
- Sill embeds are flush to concrete
- 6 inch vertical increments
- Various horizontal lengths
- ANSI 2510 & FM2510 approved
- Create a watertight barrier
- Manufacturer: PS Doors, Flood Plank FP-530



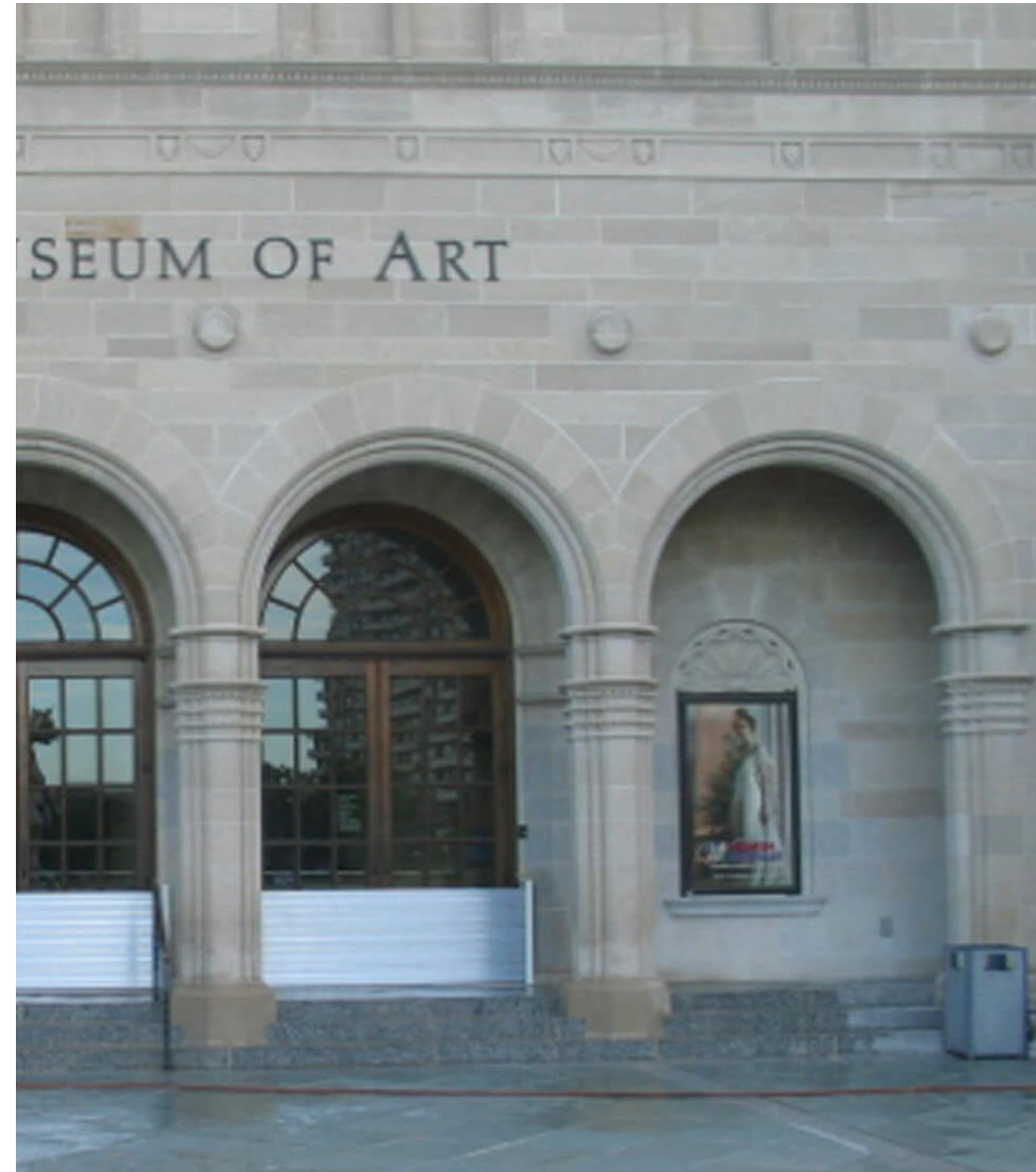


**Active Flood Shields
Precedent Images**
(manual - planks)

Chrysler Museum of Art - Norfolk, VA



1. Without flood shields



2. With flood shields deployed



3. Flood shields deployed (close-up)

River Point - 2100 2nd St, SW

Square 613 / Lot 10

Manual Flood Shields - Precedents

May 16, 2017



Active Flood Shields Precedent Images (manual - planks)

Kings Supermarket - Hillsdale, NJ



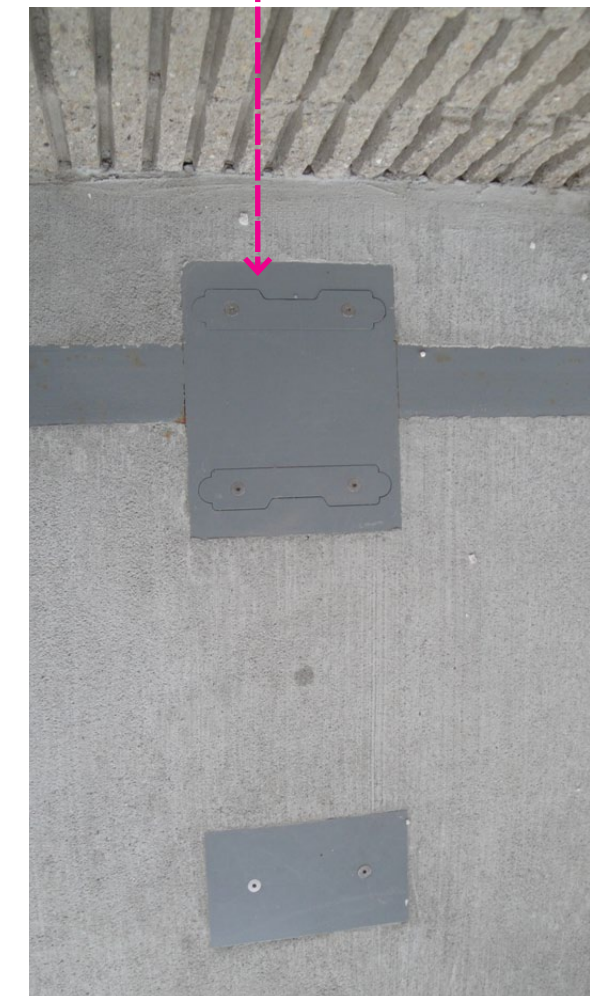
1. Manual flood shields deployed



2. Without flood shields



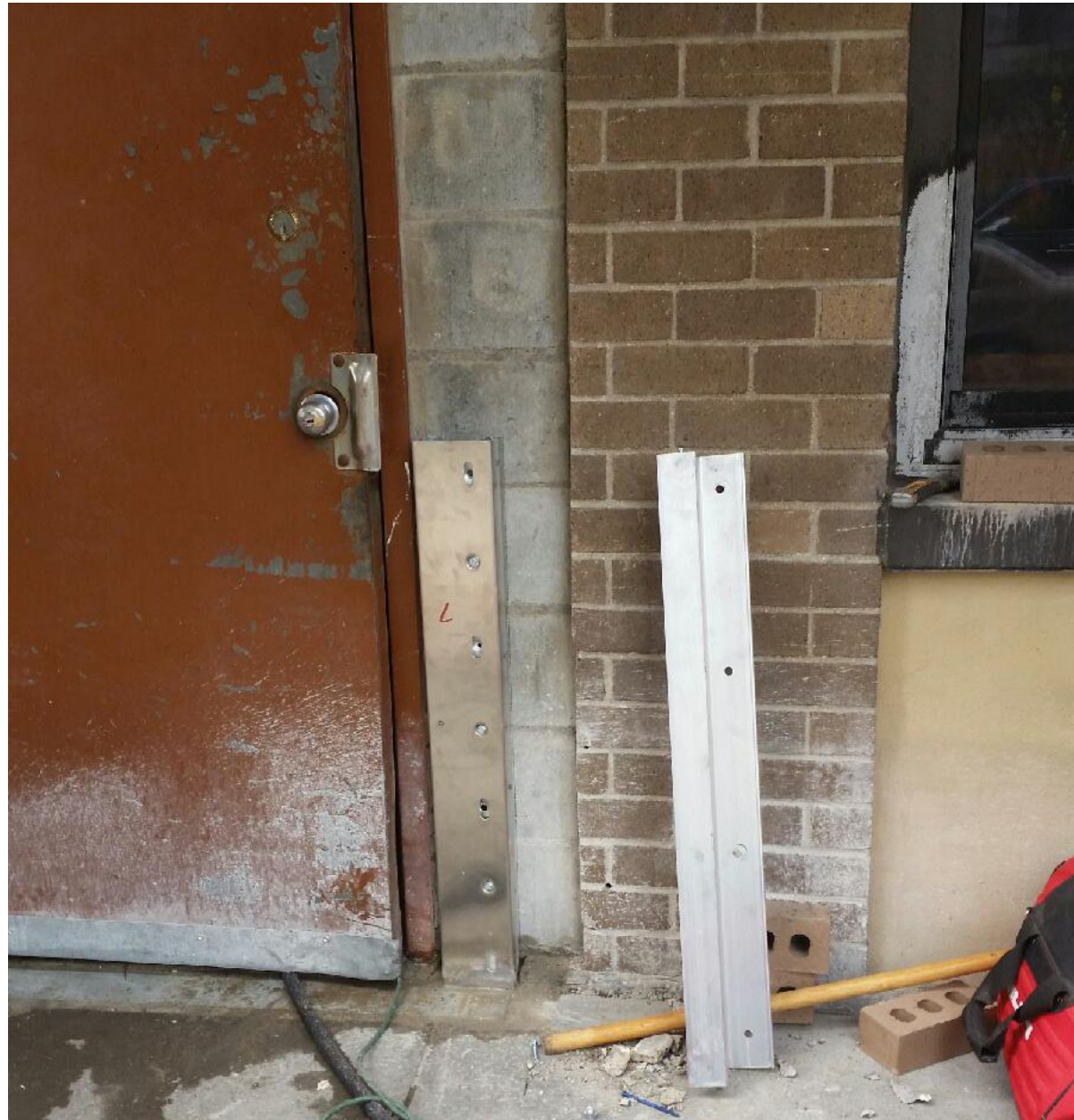
3. Prep Work



3. Sill Embed Plates Flush with Concrete for Installation of Jamb Mullions

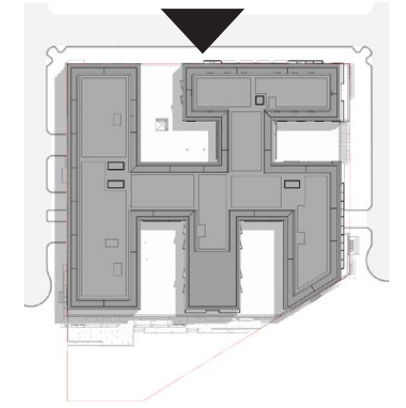


Active Flood Shields Precedent Images (manual - planks)



Bolts in wall for a completely removable system; vertical mullions to be installed prior to horizontal planks.

A completely removable system is proposed for River Point project with similar bolts to be pre-installed in the facade.



North Elevation - V Street, SW



Typical Retail Bay
(without flood shields)

River Point - 2100 2nd St, SW

Square 613 / Lot 10

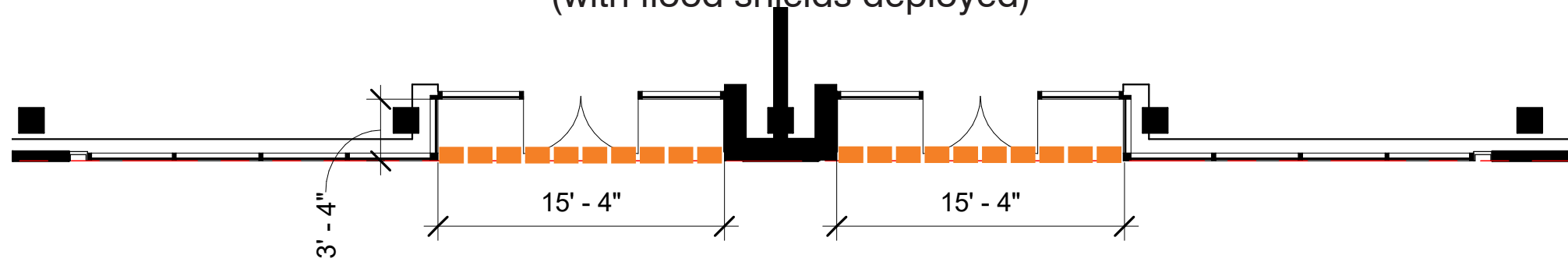
Typical Condition - Without Flood Shields

May 16, 2017

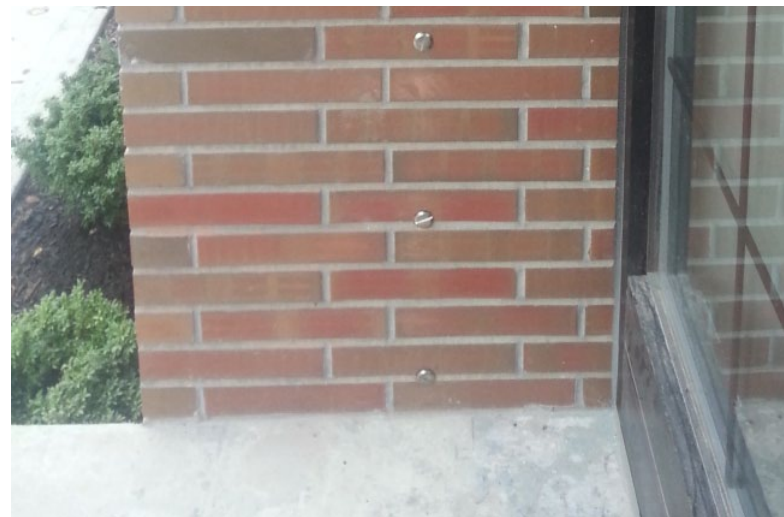




Typical Retail Bay
(with flood shields deployed)



1. Typical Flood Plank, FP-530 by PS Doors



2. Pre-bolted connection for a completely removable system



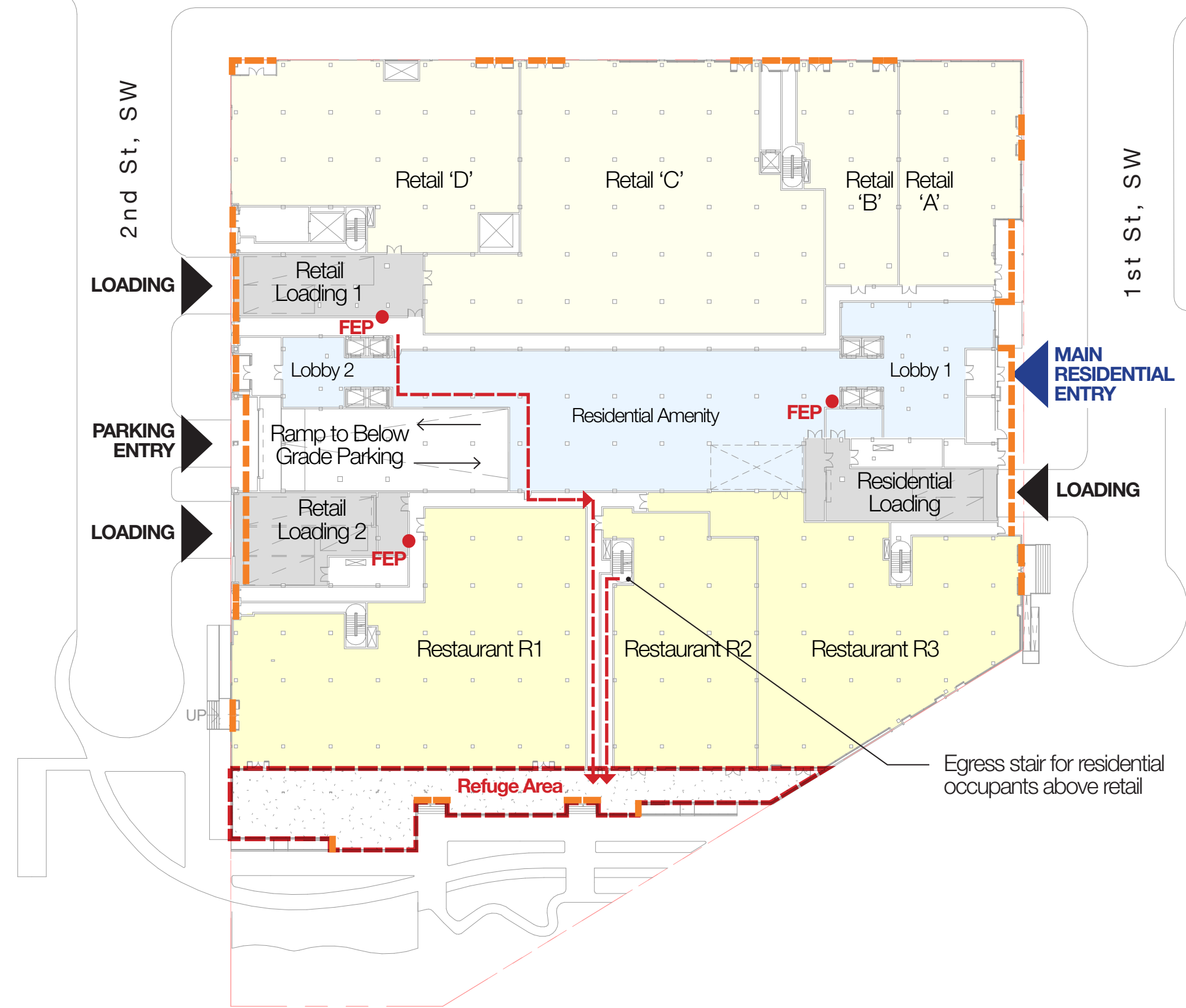
3. Sill Embed Plate

GENERAL NOTES:

1. Dry floodproofing method to be accomplished through the use of flood-damage resistant materials up to Design Flood Elevation of 12.7' and use of removable flood shields (active barriers) to be deployed in preparation for a flood event (per Dry Floodproofing Requirements of Chapter 6, ASCE 24). Sump pumps shall be provided to handle inevitable seepage.
2. Please see sheet F3 for additional information on Flood Protection Strategy for this project.

Removable Flood Shield Location







V Street, SW



FLOOD EVENT EMERGENCY EGRESS PLAN

GENERAL NOTES:

1. The flood emergency plan (FEP) shall be posted permanently in at least two conspicuous locations within the structure. Proposed locations are conceptual and will be finalized during permitting.
2. Provisions will be made for the evacuation of all occupants before the building is isolated by flood waters.
3. Refuge Area during a flood event has been designated for occupants who do not evacuate prior to the onset of flooding. Southern terrace has been designated to be such area. It is able to accommodate 920 people standing room.
4. IBC 2012, Table 1004.1.2 'Maximum floor area allowances per occupant' has been used to calculate standing space load (5 sf net per person).

-  LOCATION OF REMOVABLE FLOOD SHIELDS
-  ESCAPE PATH TO REFUGE AREA DURING A FLOOD EVENT
-  REFUGE AREA FOR OCCUPANTS WHO DID NOT EVACUATE PRIOR TO THE ONSET OF FLOODING
-  LOCATION OF A POSTED FLOOD EMERGENCY PLAN (FEP)
-  RESIDENTIAL
-  RETAIL
-  RESTAURANT
-  LOADING, BACK OF HOUSE

